

# County of Santa Clara

Department of Planning and Development  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-5770 FAX (408) 288-9198  
www.sccplanning.org



STAFF MEMORANDUM  
Zoning Administration  
March 7, 2019

**Item #1**

CT

Staff Contact: Colleen Tsuchimoto – Senior Planner  
(408) 299-5797, colleen.tsuchimoto@pln.sccgov.org

**File: 11220-18B-18G-18DR**  
**Building Site Approval, Design Review and Grading Approval for a**  
**New Single-Family Residence**  
**Address: 0 Sanborn Road, Saratoga (APN 517-33-015)**

## DISCUSSION

On February 7, 2019 the Zoning Administrator held the public hearing for consideration of a Building Site Approval, Design Review and Grading Approval for the construction of a new single-family residence located at 0 Sanborn Rd. During the public hearing, the Zoning Administrator heard testimony from members of the public noting concerns that alternative site locations were not analyzed as part of the application record, the septic system did not appear to be adequate, the building was too close to the scenic road, and the water tanks did not appear to be properly positioned on the property. After hearing the public testimony, the Zoning Administrator continued the public hearing to the regularly scheduled March 7, 2019 Zoning Administration hearing with the following direction to the applicant:

- 1) Submit a landscape plan that shows trees to screen the residence, debris wall and water tanks, including species type, box size and growth rate;
- 2) Submit two (2) alternative building locations to analyze why the other sites are not feasible for development; and

Additionally, the Zoning Administrator requested that Staff verify with the County's Department of Environmental Health (DEH) Staff if the proposed septic system is suitable and meets the County's standards.

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## Proposed Landscape Screening

The Applicant submitted revised plans on February 19, 2019. The revised plans provide a preliminary landscape plan that addresses screening for the residence, debris wall and water tanks. The proposed landscaping includes a mixture of cedar and juniper trees, and vines to grown over the debris wall. Additionally, the applicant submitted pictures of the types of landscaping that is proposed to screen the residence, water tanks and debris wall (see Attachment C). Staff is of the opinion that the proposed landscaping is adequate to screen the residence, debris wall and water tank. Condition #33e has been amended to include Roads conditioning that no irrigation lines are allowed within the road right-of-way and plantings shall not obstruct line of sight for vehicular traffic. Condition #35 has been amended to ensure that the final landscape plans are consistent with the preliminary landscape plans submitted on February 19, 2019.

## Alternative Site Location Analysis

As part of the revised plans that were submitted in response to the Zoning Administrator's direction, the Applicant provided two (2) alternate site locations identified on Sheet A7 of the revised plan set (see Attachment A). As documented on plans, Staff is of the opinion that both sites are less favorable alternatives to the proposed project location. Both alternative sites are not superior to the current proposal due to the following reasons: excessive grading due to steep slope, encumberment by existing easements, and no access to connect to a septic system in the alternative locations. Alternative Site B also would require construction of a bridge in addition to the excessive grading, and would require extensive environmental review due to the impacts to the creek and riparian habitat.

## Septic System Capacity and Location

Department of Environmental Health has approved the current septic system design as proposed. The septic system meets all County requirements at the proposed location shown on plans and was determined to be the only location on-site feasible for a septic system to be installed.

## RECOMMENDATION

After reviewing the additional information submitted in response to the Zoning Administrator's directions, Staff believes that the proposed project location is the best alternative for site development, and the project has been designed to minimize impacts related to visibility as seen from the scenic road. As such, Staff recommends that project application be approved in accordance with the updated preliminary conditions of approval provided in Attachment B.

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## ADDITIONAL INFORMATION

### **Permit Streamlining Act**

The subject application was deemed complete for processing on January 8, 2019, with a Permit Streamlining Act deadline of March 7, 2019. No Permit Streamline Act extension is needed at this time, as the current hearing date is March 7, 2019. However, the Applicant did provide a one-time 90-day extension in case one is needed, which would extend the Permit Streamlining Act deadline June 7, 2019.

### **REVIEWED BY**

Prepared by: Colleen Tsuchimoto, Senior Planner 

Reviewed by: Leza Mikhail, Principal Planner / Zoning Administrator 

### **ATTACHMENTS INCLUDED**

- Attachment A – Revised Plans including Landscape Plans and Alternative Building Site Analysis
- Attachment B – Updated Conditions of Approval
- Attachment C – Photograph rendering of Debris Wall and Trees landscaping





REVISIONS

△	11/05/2018
△	12/07/2018
△	12/17/2018
△	02/15/2019



THOMAS C. WHITE  
 ARCHITECT INCORPORATED  
 10000 WILSON AVENUE  
 PLEASANT HILL, CA 94573  
 (925) 781-1111  
 www.thomascwhite.com

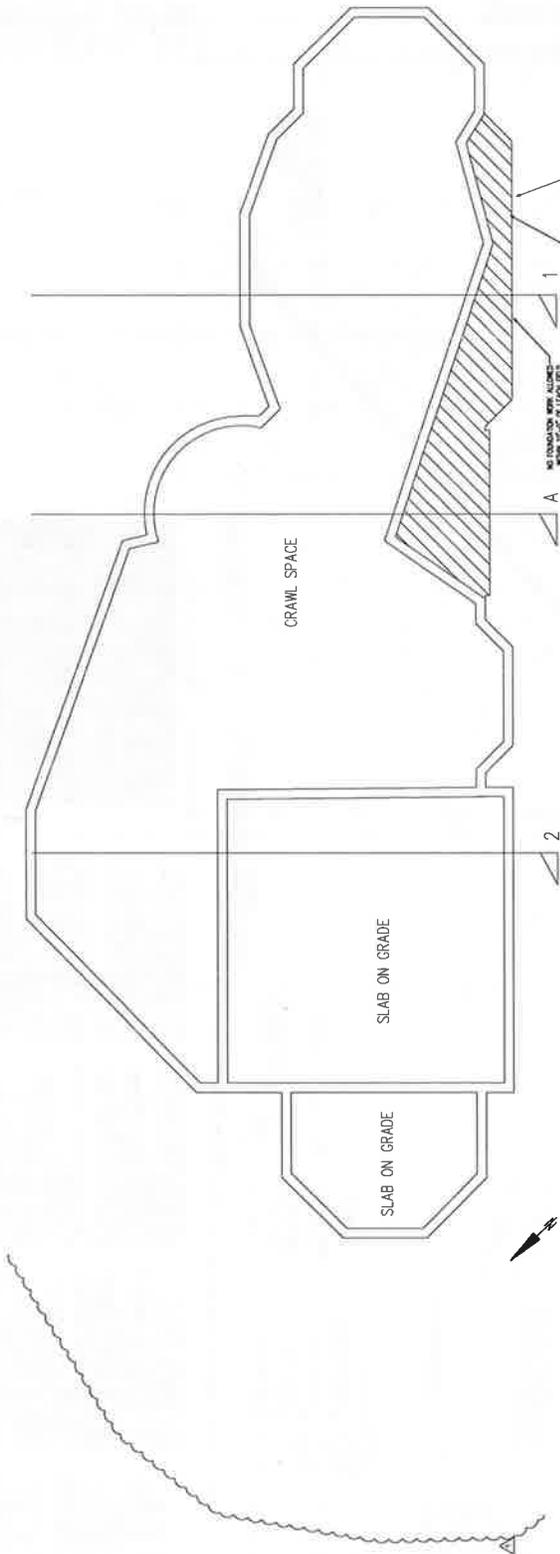
NEW HOME  
 0 SANBORN RD  
 SARATOGA

PROPOSED SECTION

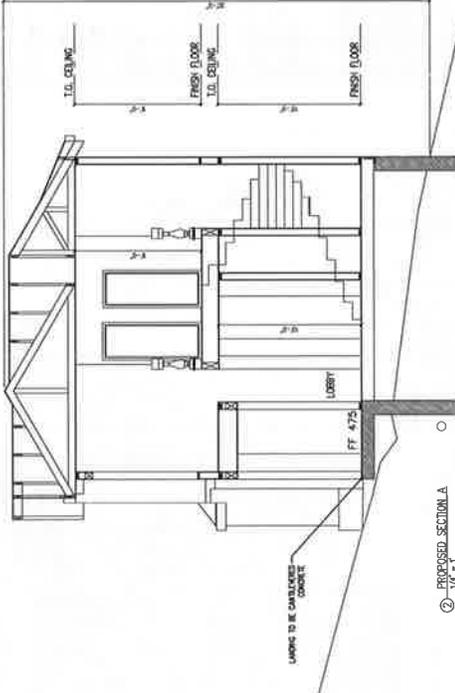
DESIGNED BY	PLC
CHECKED BY	PLC
DATE PLOTTED	07/30/2018
SCALE	1/4"=1'-0"
CSLNO	18-052
SHEET	

A-2

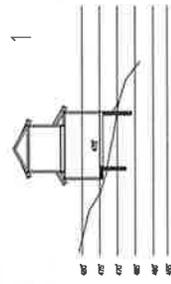
IDENTIFY ALL DIMENSIONS IN FIELD. IN CASE OF DISCREPANCY, GO TO CONTACT ARCHITECT FIRST TO DETERMINE IF MODIFICATION IS REQUIRED.



① PROPOSED FOUNDATION DIAGRAM - SSD FOR ACTUAL FOUNDATION DESIGN  
 1/4" = 1'-0"



② PROPOSED SECTION A-A  
 1/4" = 1'-0"



③ SITE SECTION 1/2  
 1/4" = 1'-0"







REVISIONS	
△	11/05/2018
△	12/07/2018
△	12/17/2018
△	02/15/2019
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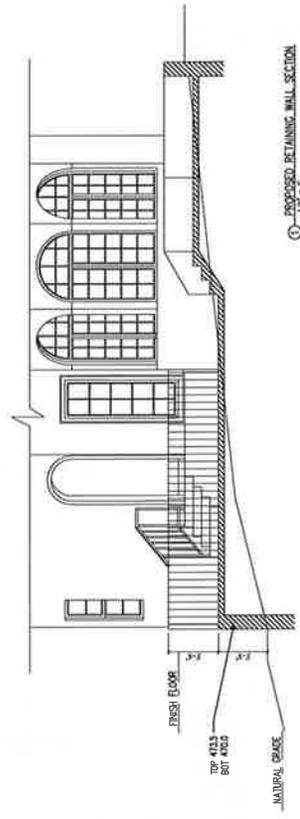
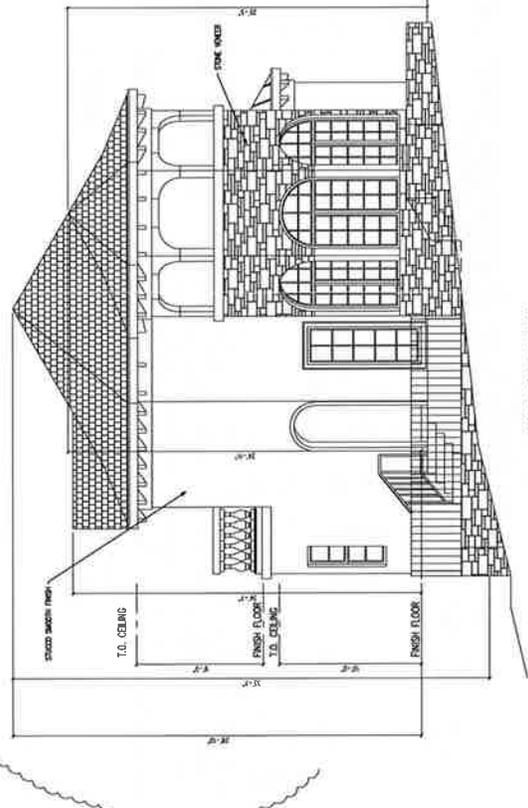
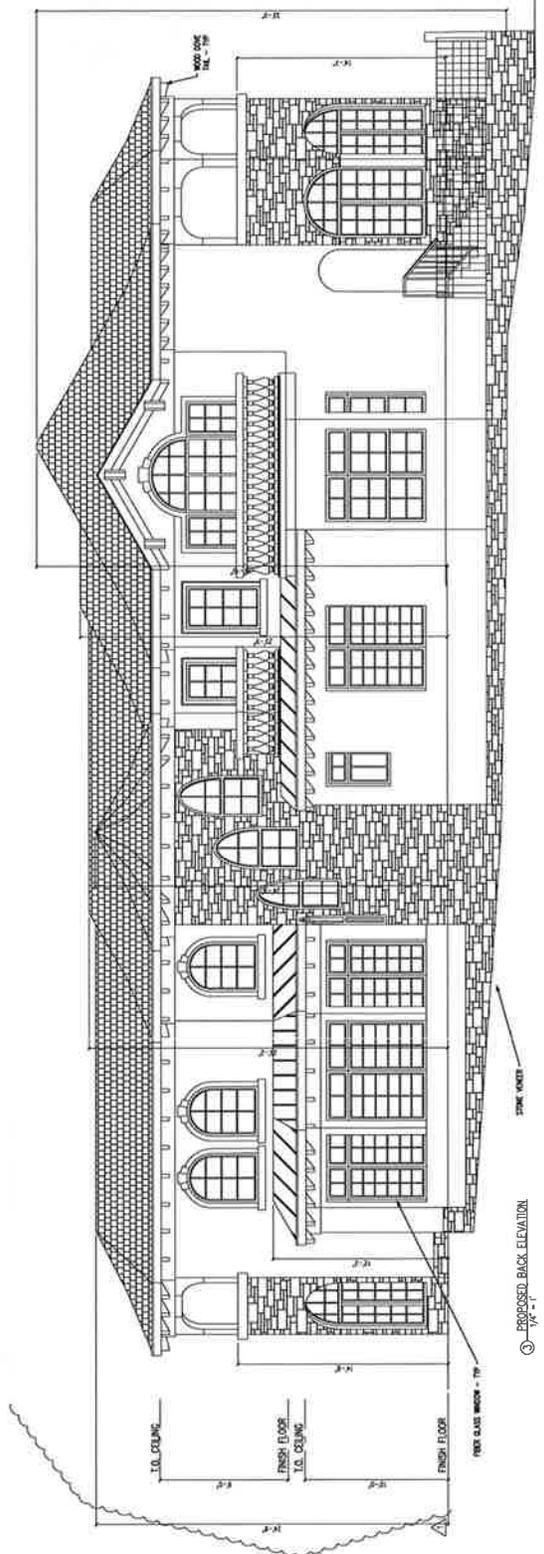
ROMAN CARTER  
 LICENSED PROFESSIONAL ENGINEER  
 MECHANICAL  
 3870 CANTON DR #2  
 SAN JOSE, CA 95135  
 (408) 434-2200  
 roman@rc-engineers.com

**NEW HOME  
 0 SANBORN RD  
 SARATOGA**

**PROPOSED  
 ELEVATIONS**

DRAWN BY	PLG
CHECKED BY	PLG
ISSUE DATE	07/30/2018
SCALE	1/4"=1'-0"
PROJECT NO.	18-052
SHEET	

**A-5**



VERIFY ALL DIMENSIONS IN FIELD IN CASE OF DISCREPANCY. SEE TO CONTACT ARCHITECT PRIOR TO COMMENCEMENT OF WORK.



REVISIONS	
△	11/05/2018
△	12/07/2018
△	12/17/2018
△	02/15/2019
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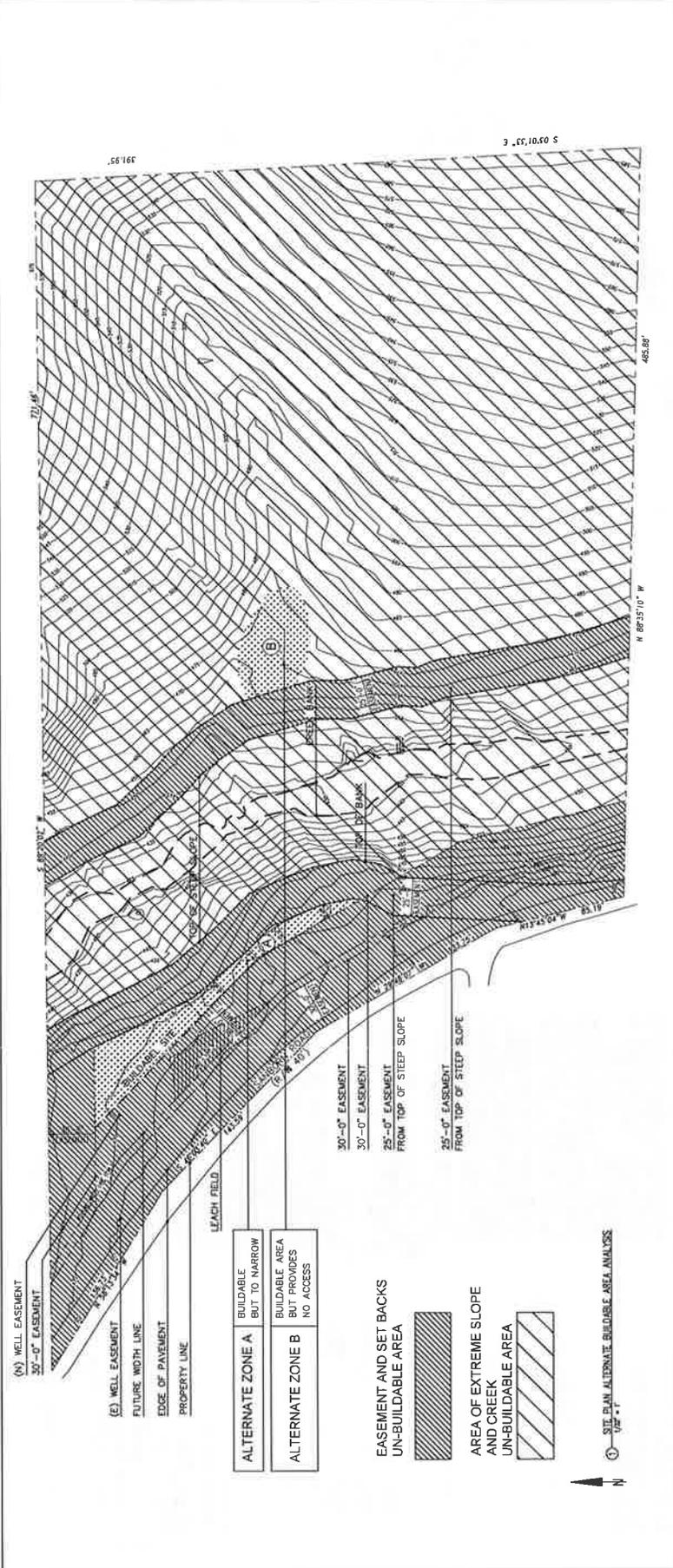
ROBERT CURTIS  
 LICENSE NO. 50918  
 MECHANICAL  
 387 CIVIC DR #2  
 SAN JOSE, CA 95128  
 (408) 253-1235  
 rcurtis@robertcurtis.com

# NEW HOME 0 SANBORN RD SARATOGA

## ALTERNATE SITE ANALYSIS

OWNER	PLG
CHECKED BY	PLG
ISSUE DATE	07/30/2018
SCALE	1/4"=1'-0"
DRAWING NO.	18-052
SHEET	

# A-7



(N) WELL EASEMENT 30'-0" EASEMENT	BUILDABLE BUT TO NARROW
(E) WELL EASEMENT FUTURE WIDTH LINE EDGE OF PAVEMENT PROPERTY LINE	BUILDABLE AREA BUT PROVIDES NO ACCESS
ALTERNATE ZONE A	BUILDABLE AREA BUT PROVIDES NO ACCESS
ALTERNATE ZONE B	BUILDABLE AREA BUT PROVIDES NO ACCESS

- EASEMENT AND SET BACKS  
UN-BUILDABLE AREA
- AREA OF EXTREME SLOPE  
AND CREEK  
UN-BUILDABLE AREA

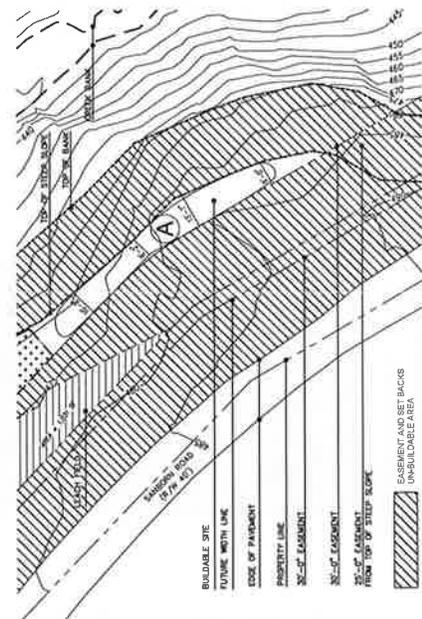
1" = 40' SITE PLAN ALTERNATE BUILDABLE AREA ANALYSIS

### ALTERNATE ZONE A ANALYSIS

ALTERNATE SITE LOCATION A IS ABOUT 1,100 SF AND LOCATED SOUTH OF THE PROPOSED HOUSE LOCATION, ON THE OTHER SIDE OF THE LEACH FIELD. LOCATION ON THAT SIDE AND BUILDING PAD BEING ENOUGH TO ALLOW FOR THE A BRIDGE WOULD BE BUILT TO CROSS OVER THE CREEK.

BUT BECAUSE OF THE FOLLOWING FACTS COMBINED WITH THE FACT THAT MOST OF THAT SIDE IS STEEP SLOPED LOT, CAN NOT BE DEVELOPED.

- MANY POINTS OF ANY STRUCTURE TO BE NO LESS THAN 10' FROM THE PROPERTY LINE.
- FROM POINT B ON DIAGRAM LOOP IS 150' OF LONG IS MORE THAN 150' OF DEVELOPER TO PROVIDE A DRIVEWAY ALLOWING THE FIRE TRUCK TO TURN HAMMER HEAD DRIVEWAY BE MORE THAN 80' WIDE AT ITS WIDEST, AND COULD NOT BE BUILT.
- THE POTENTIAL AREA CANNOT BE DEVELOPED.



ALTERNATE SITE LOCATION A IS ABOUT 1,100 SF AND LOCATED SOUTH OF THE PROPOSED HOUSE LOCATION, ON THE OTHER SIDE OF THE LEACH FIELD. LOCATION ON THAT SIDE AND BUILDING PAD BEING ENOUGH TO ALLOW FOR THE A BRIDGE WOULD BE BUILT TO CROSS OVER THE CREEK.

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- THE POTENTIAL AREA CANNOT BE DEVELOPED.

### ALTERNATE ZONE B ANALYSIS

ALTERNATE SITE LOCATION B IS ABOUT 2,500 SF AND LOCATED SOUTH WEST OF THE PROPOSED HOUSE LOCATION, ON THE OTHER SIDE OF THE LEACH FIELD. LOCATION ON THAT SIDE AND BUILDING PAD BEING ENOUGH TO ALLOW FOR THE A BRIDGE WOULD BE BUILT TO CROSS OVER THE CREEK.

BUT BECAUSE OF THE FOLLOWING FACTS COMBINED WITH THE FACT THAT MOST OF THAT SIDE IS STEEP SLOPED LOT, CAN NOT BE DEVELOPED.

- MANY POINTS OF ANY STRUCTURE TO BE NO LESS THAN 10' FROM THE PROPERTY LINE.
- FROM POINT B ON DIAGRAM LOOP IS 150' OF LONG IS MORE THAN 150' OF DEVELOPER TO PROVIDE A DRIVEWAY ALLOWING THE FIRE TRUCK TO TURN HAMMER HEAD DRIVEWAY BE MORE THAN 80' WIDE AT ITS WIDEST, AND COULD NOT BE BUILT.
- THE POTENTIAL AREA CANNOT BE DEVELOPED.

VERY STEEP SLOPED AREA NOT DEVELOPABLE	
EASEMENT AND SET BACKS UN-BUILDABLE AREA	



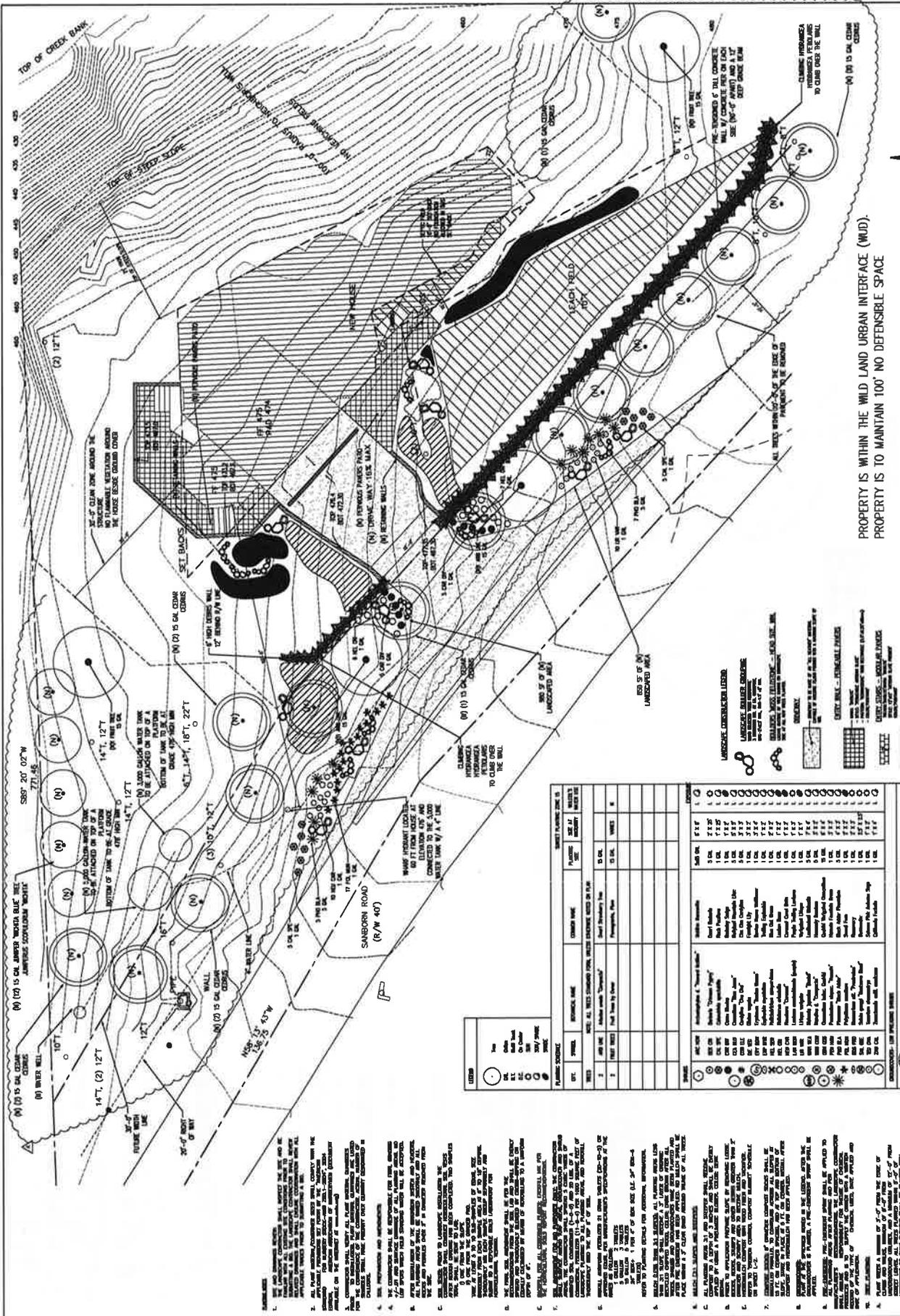
REVISIONS	DATE	DESCRIPTION
△	11/05/2018	11/05/2018
△	12/07/2018	12/07/2018
△	12/17/2018	12/17/2018
△	02/15/2019	02/15/2019



# NEW HOME 0 SANBORN RD SARATOGA

## PROPOSED PLANTING PLAN

DESIGNED BY	PLG
CHECKED BY	PLG
ISSUE DATE	11/05/2018
SCALE	1/8" = 1'-0"
DATE	11-05-2018
SHEET	L-2



PROPERTY IS WITHIN THE WILD LAND URBAN INTERFACE (WUI).  
PROPERTY IS TO MAINTAIN 100' NO DEFENSIBLE SPACE.

VERIFY ALL DIMENSIONS IN FIELD. IN CASE OF DISCREPANCY, GO TO CONTRACT ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

PLANTING CODE	PLANT NAME	PLANT SIZE	PLANT TYPE
(N) 10	... ..	...	...
(N) 11	... ..	...	...
(N) 12	... ..	...	...

PLANTING CODE	PLANT NAME	PLANT SIZE	PLANT TYPE
(N) 13	... ..	...	...
(N) 14	... ..	...	...
(N) 15	... ..	...	...

PLANTING CODE	PLANT NAME	PLANT SIZE	PLANT TYPE
(N) 16	... ..	...	...
(N) 17	... ..	...	...
(N) 18	... ..	...	...

1. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS.
2. ALL PLANTING MATERIALS AND SUPPLIES SHALL BE OBTAINED FROM A REPUTABLE SOURCE AND SHALL BE OF THE SPECIFICATIONS AND QUALITIES SET FORTH IN THE CONTRACT DOCUMENTS.
3. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS.
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**ATTACHMENT B  
PRELIMINARY BUILDING SITE APPROVAL, DESIGN REVIEW AND  
GRADING APPROVAL CONDITIONS OF APPROVAL**

Date: March 7, 2019

Owner/Applicant: Namit and Shivi Gupta / Romain Curtis

Location: 0 Sanborn Rd., Saratoga, CA (APN: 517-33-015)

File Number: 11220-18B-18DR-18G

CEQA: Categorically Exempt - Section 15303, Class 3(a)

Project Description: Building Site Approval, Design Review and Grading for a 2,850 square foot single-family residence with an attached garage. Associated site improvements including a driveway, septic system, water tanks, and landscaping. Associated grading consists of 2 cubic yards of cut and 270 cubic yards of fill (272 cubic yards total). NOTE: 80 cubic yards of of fill are associated with building pads for the residence and garage. Approval is based on plans submitted on February 19, 2019.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

<b>Agency</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Planning	Colleen Tsuchimoto	(408) 299- 5797	colleen.tsuchimoto@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Fire Marshal	Alex Goff	(408) 299 – 5763	alex.goff@sccfd.org
Calfire	Craig Farley	(408) 500-1000	craig.farley@fire.ca.gov
Land Development Engineering	Ed Duazo	(408) 299-5735	ed.duazo@pln.sccgov.org
Roads & Airports	Rocelia Kmak	(408) 573-2464	rocelia.kmak@rda.sccgov.org
Geology	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Building Inspection		(408) 299-5700	

**STANDARD CONDITIONS OF APPROVAL**

**Building Inspection**

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbldg.org](http://www.sccbldg.org)



### Environmental Health

12. Proposed debris wall shall be designed to ensure minimum setbacks are maintained from onsite wastewater treatment system.
13. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

### Fire Marshal's Office

14. Fire protection water shall be made available to the fire department.
15. Maintenance: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times, and shall be replaced or repaired where defective. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order, and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

## **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING PERMIT ISSUANCE**

### Planning

16. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
17. **Prior to the issuance of a grading permit**, submit tree protection plan. Fencing shall be installed around all trees not slated for removal that are adjacent to construction areas, and shall be maintained during the duration of construction.
18. If possible, tree removal should be scheduled between October and December (inclusive) to avoid the raptor nesting season. Should the October – December time window not be feasible, pre-construction surveys for nesting raptors shall be required as follows:
  - a. Between January and April (inclusive), pre-construction surveys shall be conducted by a qualified ornithologist to identify raptor nests that may be disturbed during project implementation. The survey shall be conducted no more than 14 days prior to the initiation of construction activities and trees removal. Between May and August (inclusive), pre-construction surveys shall be conducted by a qualified ornithologist within 30 days prior to the initiation of construction activities and trees removal. If an active raptor nest is found in or close enough to

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the construction area to be disturbed by these activities, the ornithologist shall, in consultation with the California Department of Fish & Wildlife, designate a construction free buffer zone (typically 250 feet) around the nest.

- b. The applicant shall submit a report indicating the results of the surveys and any designated buffer zones to the Planning Dept. **prior to the issuance of the final grading permit.**

### Land Development Engineering (LDE)

19. **Prior to beginning of any construction activities**, obtain a Grading Permit from Land Development Engineering (LDE).
20. **Prior to LDE clearance of the building permit**, issuance of the grading permit is required (building and grading permits can be applied for concurrently). The process for obtaining a Grading Permit and the forms that are required can be found at the following web page: [www.sccplanning.org](http://www.sccplanning.org) > I Want to...> Apply for a Permit > Grading Permit.

The application for the encroachment permit (Roads & Airports permit) will be submitted to LDE with the grading permit. For your convenience the grading and encroachment permits are processed concurrently under one set of improvement (grading) plans.

Please contact LDE at (408 299-5734) for additional information and timelines.

21. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.

### Improvement Plans

22. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

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March 7, 2019

- March 1981 Standards and Policies Manual, Volume 1 (Land Development)  
www.sccplanning.org > Plans & Ordinances > Land Development Standards and Policies
- 2007 Santa Clara County Drainage Manual www.sccplanning.org > Plans & Ordinances > Grading and Drainage Ordinance.

#### Monuments and Access

23. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements by the County**. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

#### Easements

24. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
25. The following offers to dedicate easements shall be submitted to LDE. All easement dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County Surveyor's Office.
- a. Offer to dedicate an easement to the public and the County for storm-drainage purposes, based on the centerline of the creek running through the property and extending 10 feet beyond the tops of bank of both sides of the creek.
26. Submit a letter from the project civil engineer addressing concerns regarding the adequate vehicle clearance for the private driveway, specifically, the transition from the 16% descending driveway into the garage.

#### Drainage

27. **Prior to grading permit issuance**, provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

#### Storm Water Treatment – SF Bay watershed

28. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to

Design Review and Grading Approval  
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incorporate as many site design measures as possible into the project. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website: [www.scvurppp.org](http://www.scvurppp.org) > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)

### Soils and Geology

29. Submit one copy of the signed and stamped geotechnical report for the project.
30. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plans.

### Calfire

31. The land proposed for this project has been classified by a Cal Fire Forester as "Timberland" as defined under Public Resources Code (PRC) section 4256. A timberland conversion permit (PRC 4261) or conversion exemption is required prior to the cutting of trees and grading. The project proponent shall consult with a licensed Forester to complete the permit application or to contest the Timberland classification.

### Roads and Airports

32. Encroachment Permit: Obtain a Santa Clara County Roads and Airports (RAD) Encroachment Permit prior to any work within the County right-of-way (ROW) and prior to Building Permit issuance. The Encroachment Permit shall contain all the elements indicated in Improvement Plans below and in Roads and Airports Encroachment Permit Application Process and Information handout. The process for obtaining an Encroachment Permit and the forms can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Encroachment Permit.
33. Improvement Plans: Preliminary plans prepared by Sterling Consultants and received on November 11, 2018, by the Santa Clara County Planning Office have been reviewed. Submit final improvement plans prepared by a licensed civil engineer for review and approval prior to Grading/Building Permit issuance. Include plan, profile, typical section, and grading and drainage for all construction improvements located within the ROW

Design shall be consistent with County Ordinance, Roads and Airports Standards Detail Manual, and the Santa Clara County Drainage Manual. Final improvement plans shall include the following:

- a. Design Sanborn Road along the property's frontage to County Standard B/4A. Owner's Engineer may propose modifications to the B/4A standard in the Final Improvement Plans based upon existing site conditions for review and approval

by the County Roads and Airports Department. The modifications may include defining limiting to the frontage improvements and/or reducing the width of the shoulder widening but must demonstrate that the proposed improvements implement the B/4A standard to the maximum extent possible.

- b. Design the driveway approach to County Standard B/4.
- c. Reestablish the flowline along the property's frontage to provide positive flow.
- d. Show all existing and proposed features located within the ROW, including but not limited to, edge of pavement, ROW line, above and below ground utility lines, easements, drainage facilities, trees, landscaping, and other structures and features. All utility relocations, replacements, abandonments, temporary facilities and new facilities are shown.
- e. Show all trees and brush along the project's work limits within the ROW indicating any trees to be removed, pruned, and/or planted. If applicable, obtain a tree removal encroachment permit prior to removal of any tree within the ROW. Plantings shall not obstruct line of sight for vehicular traffic. No irrigation lines can be installed in the right-of-way. The process for obtaining approval for a tree removal and the forms that are required can be found at [www.countyroads.org](http://www.countyroads.org) Services >Apply for Permits > Tree Removal from County Right-of-Way.
- f. Provide for the uninterrupted flow of water in swales and natural courses within the ROW. No fill or crossing of any drainage facilities is allowed unless shown on approved plans.
- g. Demonstrate that the post development maximum flow rate onto the County Road ROW is equal or less than pre-development corresponding storm event flow rate. If this cannot be demonstrated, a detention/retention system shall be located outside the County Road ROW.
- h. Provide an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period within the ROW in accordance with the Municipal Regional Permit.
- i. Provide a Site Specific Traffic Control Plan or "Typical Application" from Part 6 Temporary Traffic Control of the 2012 Edition Manual Uniform Traffic Control Devices to demonstrate traffic handling during construction as appropriate.

## **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE**

### **Planning**

34. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
35. **Prior to the issuance of a building permit** submit a landscape documentation package for review and approval (Landscaping Permit). New landscaping and existing forestry trees is required to surround the residence, frontage debris wall and rear water tanks

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consistent with preliminary landscape plans dated February 19, 2019. The submittal shall include a landscaping plan, irrigation plan, and water budget calculations stamped and signed by a licensed landscape architect. The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply as the total landscape area appears to exceed 2,500 square feet. The landscape ordinance and supporting information can be found on the following web page:

<https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

36. **Prior to issuance of a building permit**, submit color samples for the house facade, trim and roof indicating the Light Reflectivity Value is less than or equal to 45, pursuant to Zoning Ordinance Section 3.20.040B consistent with approved plans.
37. **Prior to issuance of a building permit**, submit exterior lighting plan if applicable. All lighting on the site shall be designed, controlled and maintained such that no light source is visible from off the property.
38. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125 record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

#### Environmental Health

39. **Prior to issuance of a building permit**, provide three wet-stamped septic plans signed by Department of Environmental Health to 70 W Hedding, Permit Center, for signoff. Based on the percolation rate of 6 minutes per inch, sewage conditions have been determined as follows:
  - a) For a 3 bedroom single family residence: a 1500 gallon septic, an enhanced treatment unit, pump chamber, and 375 plus 375 square feet drip dispersal fields.
  - b) For a 2 bedroom single family residence: a 1500 gallon septic, an enhanced treatment unit, pump chamber, and 250 plus 250 square feet drip dispersal fields.
  - c) For a 1 bedroom single family residence: a 1500 gallon septic, an enhanced treatment unit, pump chamber, and 125 plus 125 square feet drip dispersal fields.

Note: Bedroom counts can be reduced to resize drip dispersal fields and ensure minimal set backs are maintained as defined within County of Santa Clara Onsite Manual.

40. **Prior to issuance of a building permit**, provide a water connection letter from the local water purveyor.

### Fire Marshal's Office

41. Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed accessible, and/or functioning.
  
42. OnSite Water Storage: Whereon-site storage tanks are required, details for fire protection water supply shall be included with the building permit set of drawings. Submittal shall include, but not be limited to, location of water supply, (e.g. onsite well, shared well, tank location and capacity, pipe size, wharf hydrant orifice size and location, domestic and fire protection water tanks and piping configuration.
  - a) All installations shall include a primary aboveground storage tank with a capacity of not less than 3,000 gallons dedicated to domestic and fire sprinkler system demand. Storage capacity may be increased due to sprinkler design demand or additional domestic water as required by the Environmental Health Department.
  - b) A secondary aboveground storage tank dedicated to the wharf hydrant shall be provided in accordance with the following:  
Structures up to 3,600 sq. ft.: 5,000 gallons.
  - c) Aboveground storage tanks shall be provided with automatic refill. Manual refilling of tanks is not acceptable.
  - d) Installation of aboveground storage tanks less than 20 ft. to a structure requires tanks to be of noncombustible construction.
  - e) Installation of the tank system shall comply with Fire Marshal Standard CFMO-W5.
  - f) Underground storage tanks and swimming pools shall not be accepted in place of aboveground storage tanks.
  - g) A copy of the Shared Well agreement shall be provided at the time of plan submittal for building permit.
  
43. One on-site wharf hydrant with a 2 ½ inch orifice is required to be installed when fire protection water is supplied by on-site aboveground storage tank(s). Installation of hydrants shall be in accordance with Fire Marshal Standard Detail CFMO W4.
  - a) Minimum distance to structure shall not be less than 55 ft. from the closest portion of the structure and shall not exceed 150 ft. from the furthest portion of the structure (measured along path of travel).
  - b) Hydrant shall be installed within 8 ft. of driving surface in a location acceptable to the Fire Marshal's Office.
  - c) Installation of a hydrant adjacent to a driveway (12 ft. wide) requires a turnout complying with SD-16 to allow additional emergency vehicles to pass.
  - d) Hydrant shall have a positive flow by means of gravity feed or where that is not possible, from a reliable, listed automatic pump approved by the Fire Marsahl.

Elevation of hydrants and tanks in relation to each other shall be a major consideration.

44. Access Roads (roads serving more than two lots) for fire department access shall comply with the following:

- a. Width: Clear drivable width of 18 ft. plus a 3 ft. shoulder on each side.
- b. Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained to building site (trim or remove tree limbs, electrical wires, structures, and similar improvements).
- c. Curve Radius: Inside turn radius for curves shall be a minimum of 50 ft.
- d. Grade: Maximum grade shall not exceed 15%. The Fire Marshal may permit grades up to a maximum of 20% if no other method is practicable and if consistent with good engineering practices, provided an approved automatic fire sprinkler system is installed throughout the affected dwelling, including attached garage. In no case shall the portion exceeding 15% gradient be longer than 300 feet in length, unless there is at least 100 feet at 15% or less gradient between each 300 foot section. Grades exceeding 15% shall be paved in compliance with County Standards.
- e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
- f. Dead End Roads: Turnarounds shall be provided for dead end access roads in excess of 150 ft. in length. Acceptable turnaround shall be 40 ft. by 48 ft. pad, hammer head, or bulb of 32 ft. radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- g. Gates & Traffic Calming Devices: Any obstruction to emergency access such as gates, speed bumps/humps/ traffic circles, etc. shall require prior approval from the County.

45. Driveways (roads serving only one lot) shall comply with the following when the distance between the centerline of the access road any portion of the structure exceeds 150 ft. (measured along the path of travel).

- a. Width: Clear width of driveable surface of 12 ft.
- b. Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
- c. Curve Radius: Inside turn radius for curves shall be a minimum of 50 ft.
- d. Maximum grade shall not exceed 16%. The Fire Marshal may permit grades up to a maximum of 20% if no other method is practicable and if consistent with good engineering practices, provided an approved automatic fire sprinkler system installed throughout the affected dwelling, including attached garage. In no case shall the portion exceeding 16% gradient be longer than 300 feet in length, unless

- there is at least 100 feet at 15% or less gradient between each 300 foot section. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
- e. Surface: All driving surfaces shall be all -weather and capable of sustaining 75,000 pound gross vehicle weight.
  - f. Turnouts: Passing turnouts in compliance with SD-16 shall be provided at every 400 ft. and wherever hydrants are placed adjacent to a driveway.
  - g. Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnarounds shall be 40 ft. by 48 ft. pad, hammerhead, or bulb of 40 ft. radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - h. Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO A3.

46. This property is located in the Wildland/urban Interface Fire Area. All of the following conditions shall apply:
- a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - b. Provide a ½ inch spark arrester for the chimney.
  - c. Remove significant combustible vegetation within 30 ft. of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet form the structure.

#### Roads and Airports

47. Prior to issuance of the Building Permit, dedicate the following curvilinear rights-of-ways: 30 foot half street for Sanborn Road. All dedications must include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County.

#### Geology

48. **Prior to building permit issuance**, submit a Plan Review Letter that confirms the plans conform with the recommendations presented in the approve geology report.

### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

#### Planning

49. **Prior to final inspection**, contact Colleen Tsuchimoto, at least a week in advance to schedule a site visit to verify the approved exterior colors, and landscaping have been installed as approved.

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### Land Development Engineering

50. Construct all the improvements. Construction staking is required and shall be the responsibility of the developer.
51. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

### Fire Marshal's Office

52. Water protection tanks and wharf hydrant to be installed before combustible materials are brought on-site.
53. Fire Department access to be installed before combustible materials are brought on site.
54. Fire Sprinkler System: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.

### Roads and Airports

55. Construction: Construct all of the aforementioned improvements prior to final Building occupancy. Construction staking within the ROW is required and shall be the responsibility of the developer.

## Tsuchimoto, Colleen

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**From:** Namit Gupta <namit80@gmail.com>  
**Sent:** Saturday, February 16, 2019 1:29 PM  
**To:** Tsuchimoto, Colleen  
**Cc:** Romain Curtis; Shivi Agarwal gupta  
**Subject:** Picture of landscape screening and wall wines

Hi Colleen

To visually give a feel how screening of house will look like from road and from neighbor, including water tanks I am sharing a picture of what Romain proposed as array of trees.

Also I am including a picture of how vines on wall will look like to give you a perspective

Best  
Namit



