

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT
Zoning Administration
October 4, 2018
Item #3

Staff Contact: Lara Tran
(408) 299-5759, lara.tran@pln.sccgov.org

File: 11268-18DR
Design Review to add 497 square feet to an existing 4,721 square foot single-family residence.

Summary: Design Review to add 497 square feet to an existing 4,721 square foot single-family (1-story) residence, totaling 5,281 square feet (Tier 2 Project: 5,001 to 12,500 sq. ft.). No grading is proposed.

Owner: Tom & Beverly Ashburn	Gen. Plan Designation: USA (Monte Sereno)
Applicant: Tom & Beverly Ashburn	Zoning: RHS-d1
Lot Size: 1.1 Acres	Address: 19020 Ojai Drive, Los Gatos
APN: 510-23-013	Present Land Use: Single Family Residence
Supervisory District: #1	Approved Building Site: Yes

RECOMMENDED ACTIONS

- A. Accept the Categorical Exemption, under Section 15301 (Class 1(e)(1)) of the CEQA Guidelines, Attachment A
- B. Grant Design Review Approval subject to conditions outlined in Attachment B

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination
Attachment B – Proposed Conditions of Approval
Attachment C – Location & Vicinity Map
Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes Design Review to add 497 square feet to an existing 4,721 square foot single-family (1-story) residence, totaling 5,281 square feet. The proposed addition includes a laundry room, storage space, enlarging the existing great room, and enlarging the master bedroom. The addition will be in the same general location as the existing residence. No grading or tree removal is proposed as a part of this project.

The lot is a 1.1 gross-acre parcel on the northwest corner of Matilija Drive and Ojai Drive in the unincorporated area of Santa Clara County. Both Matilija Drive and Ojai Drive are private roads. The existing paved driveway takes access from the intersection of Ojai Drive and Matilija Drive. The property is served by San Jose Water. No other site improvements are proposed outside of the addition area.

Setting/Location Information

The subject property is located in the southwestern portion of the unincorporated area of Santa Clara County, west of Highway 17 and south Highway 9. The neighborhood character consists of estate homes built in the late 1950's ranging from 3,000 to 6,000 square feet. The property is located between the cities of Saratoga and Monte Sereno.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption, Section 15301 (Class 3e) Additions to existing structures.

B. Project/Proposal

1. **General Plan:** Urban Service Area – Monte Sereno
2. **Approved Building site:** Yes. Tract 1218 - Lot 14.
3. **Zoning Ordinance:** The proposed project meets the required development standards for a single-family residence in the RHS-d1 (Urban Hillside Residential with Design Review -Tier 2) combined zoning district as summarized below:

Front Setback:	30 feet
Side Setbacks:	20 feet
Rear Setback:	25 feet
Maximum Height:	35 feet
Stories:	3 stories

C. Design Review Findings:

Pursuant Section 5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The project does not include removal of any existing trees, new landscaping, or grading. The addition is to provide a new laundry room, storage space, enlarge the existing great room and enlarge the existing master bedroom. The proposed additions do not create additional adverse impacts to the existing single-family residence beyond what is already existing. The rear height of the structure will be increased to allow for a taller great room at 17 ft. and 9 inches. However, as the existing residence is situated on an uneven pad, the west-rear elevation with the raised ceiling for the great room will have the same roof ridgeline as the rest of the existing rear of the residence. As such, the overall height, will remain the same.

The location of the residence is in a medium to highly visible location from the valley floor according to County GIS data. Existing vegetation is located along the intersection Ojai Drive and Matilija Drive. Additionally, the location of the residence is set further back from the main roads and is shielded with existing tall trees and landscaping to provide additional mitigation to soften the appearance of the structure as seen from the valley floor. As such, as sited and designed, the project does not create any visual impacts.

2. Compatibility with the natural environment;

The project does not include additional site improvements other than the addition to the existing single-family residence. Thus, the proposed project is designed to be compatible with the natural and existing environment.

3. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors;

The proposed project conforms to the Design Review Guidelines. The siting of the proposed residence utilizes an existing foot print in a flat area of the parcel and requires no additional site improvements or grading. The proposed residence is surrounded by trees to the north, south, and along Ojai Drive and Matilija Drive, which will be maintained and protected during construction. Trees and landscaping maintenance have been added as part of the project conditions in Attachment B. Impacts on privacy and views of neighboring properties is minimal due to the existing vegetation. The existing residence is one (1) story and an increase in ceiling height for the great room area will not create additional visual impact as it is not above the existing ridgeline.

The architectural design of the proposed addition avoids excessive bulk and mass by incorporating undulating facades and varied roof planes. As a condition of approval, exterior colors for the house façade, trim and roof materials are to have a Light Reflectivity Value less than or equal to 45.

4. Compatibility with the neighborhood and adjacent development;

The neighboring properties are developed with single-family residences that are both one (1) to two (2) stories. The proposed residence is keeping with the characteristics of the surrounding neighborhood in that the proposed size, number of stories, and architectural design are compatible to adjacent developments along Ojai Drive and Matilija Drive. The project will not be obtrusive compared to the other developed parcels in the immediate vicinity due to the similarities in size, design, and screening provided by the existing vegetation.

5. Compliance with applicable zoning district regulations; and

Residential use is an allowed use in the RHS Urban Hillside Residential zoning district, and the project complies with the RHS zoning regulations. The proposed residence meets the required setbacks (30-foot front, 20-foot side, and 25 feet rear) and height (maximum of 35-feet). The proposed design is also in keeping with the -dl design guideline standards, and building massing standards in that the structure incorporate varied roof heights and use architectural elements such as windows and cornices to produce patterns of light and shade. Exterior colors are conditioned to be less than 45 in LRV.

6. Conformance with the general plan, any applicable specific plan, other applicable guidelines.

The proposed development substantially conforms with the Santa Clara County General Plan and Design Guidelines. The proposed project is an addition to an existing structure, located in a suitable portion of the site where the topography is flat. The one (1) story residence is well massed and does not require any grading, or new improvements, such as driveway or road improvements. The exterior color and materials will be conditioned to have an LRV of 45 or less to ensure compatibility with the surrounding environment.

BACKGROUND

The existing single-family residence was built in 1956. In 1984, a variance was approved for a side setback reduction from 20 ft. to 11 ft. to build an attached garage, but no additional encroachment is proposed with the subject application. A Design Review Exemption (DRX) was approved in January 1998 for an addition of less than 500 square feet to the residence. The current owner applied for Tier 2 Design Review on April 20, 2018 with a resubmittal on July 30, 2018 where the scope of the project was significantly reduced. On August 31, 2018 the application was deemed complete. The owner/applicant installed a project development sign on June 13, 2018 at the property as part of the public noticing requirement for design review. A public notice was mailed to all property owners within a 300-foot radius of the project on September 24, 2018 and was also published in the Post Records on September 20, 2018.

STAFF REPORT REVIEW

Prepared by: Lara Tran, Associate Planner



Reviewed by: Leza Mikhail, Principal Planner/Zoning Administrator



ATTACHMENT A

Notice of Exemption from CEQA

To: County Clerk-Recorder
County of Santa Clara

Office of Planning & Research
PO Box 3044, Room 222
Sacramento, CA 95812-3044

Project Title Residence: 19020 Ojai Drive	File Number (if applicable) 11268-18DR	
Project Location 19020 Ojai Drive, Los Gatos, northwest corner of Ojai Drive and Matilija Drive, and east of the City of Monte Sereno. Zoning RHS-d1		
Public Agency Approving Project County of Santa	Person or Agency Carrying Out Project Lara Tran, Associate Planner	
Project Description (including purpose and beneficiaries of project) Design Review to add 497 square feet to an existing 4,721 square foot single-family (1-story) residence, totaling 5,281 square feet (Tier 2 Project 5,001 to 12,500 sq. ft.). No grading is proposed.		
Exempt Status check one/indicate type of State CEQA Guidelines section number: <input checked="" type="checkbox"/> Categorical Exemption [CEQA Guidelines 15301-15333]: <input type="checkbox"/> Statutory Exemption [CEQA Guidelines 15260-15285]: <input type="checkbox"/> Declared Emergency [15269(a)]: <input type="checkbox"/> Emergency Project [15269(b)(c)]: <input type="checkbox"/> General Rule [CEQA Guidelines 15061(b)(3)]:		
Reasons the project is exempt: Class 15301(e)(1) Additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The project proposes to add 497 square feet to an existing 4,721 square foot single-family (1-story) residence, totaling 5,281 square feet. The proposed addition will not result in more than 50% of the floor area of the structures before the addition, or 2,500 square feet. The additions will be in the same general location as the existing residence. No grading or tree removal is proposed as a part of this project.		
County Contact Person Lara Tran	Title Associate Planner	Telephone Number (408) 299-5759

Date: 9/26/18 Signature: 

Name/Title: Lara Tran/Associate Planner

Approved by: Leza Mikhail/Zoning Administrator 

ATTACHMENT B

Preliminary Conditions of Approval

11268-18DR

DESIGN REVIEW CONDITIONS OF APPROVAL

Owner/Applicant: Thomas Ashburn and Beverly Ashburn
File Number: 11268-18DR
Location: 19020 Ojai Drive, Los Gatos (APN: 510-23-013)
Project Description: Design Review to add 497 square feet to an existing 4,721 square foot single-family (1-story) residence, totaling 5,281 square feet (Tier 2 Project 5,001 to 12,500 sq. ft.). No grading is proposed.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a particular specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Lara Tran	(408) 299- 5759	lara.tran@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@pln.sccgov.org
Geology	Jim Baker	(408) 299 – 5735	jim.baker@pln.sccgov.org
Fire Marshal	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Building Inspection		(408) 299-5700	

STANDARD CONITIONS OF APPROVAL

Planning

1. Development must take place in accordance with the approved plans, prepared by Kolhsaat & Associates, submitted to the County on July 30, 2018. If the project is considered a rebuild, all height and setback must conform to current zoning development standards.
2. Existing zoning is HS-dl. Maintain the following minimum setbacks:

Front: 30 feet
Sides: 20 feet
Rear: 25 feet
Maximum Height: 35 feet
Stories: 3

3. The exterior color surfaces (including walls, roof, window trim/accent, retaining walls, fences) of the structure must be of muted colors with light reflectivity value (LRV) of 45 or lower.
4. Maintain the existing landscaping and provide tree protection for north and easterly property lines per County tree protection standards during construction. Existing mature trees shall be protected to soften the appearance of the structure as seen from the valley floor.

Environmental Health

1. Maintain existing water connection with local water purveyor.
2. Maintain garbage service with the local service provider. Garbage service is mandatory within unincorporated areas of Santa Clara County.
3. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Geology

4. As plans indicate additional living area proposed is less than 500 square feet, Geology requirements are exempt. However, if it is later determined that more than 500 square feet will be added (or combined with any previously non-permitted space) a geotechnical report will be required.

Fire Marshal

5. Property is located within the State Response Area (SRA) and the Wildland Urban Interface (WUI) area.

Building Inspection Office

6. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Office of Building Inspection or visit their website (www.sccbuiding.org).

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE

7. For all trees to be retained with a canopy in the development area or interfaces with the limits of any proposed development on-site, the trees shall be protected by the placement of 5-foot tall rigid tree protective fencing as shown on final building plans and must include the following:
 - a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees,

- b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions,
 - c. Fencing should be repaired, as necessary, to provide a physical barrier from construction activities,
 - d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: “Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call (408) 299-5770 for additional details.”
8. Pursuant to §5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

Environmental Health

9. **Prior to issuance of a building permit**, provide a sewer connection permit from the West Valley Sanitation District. Call (408) 378-2407.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST

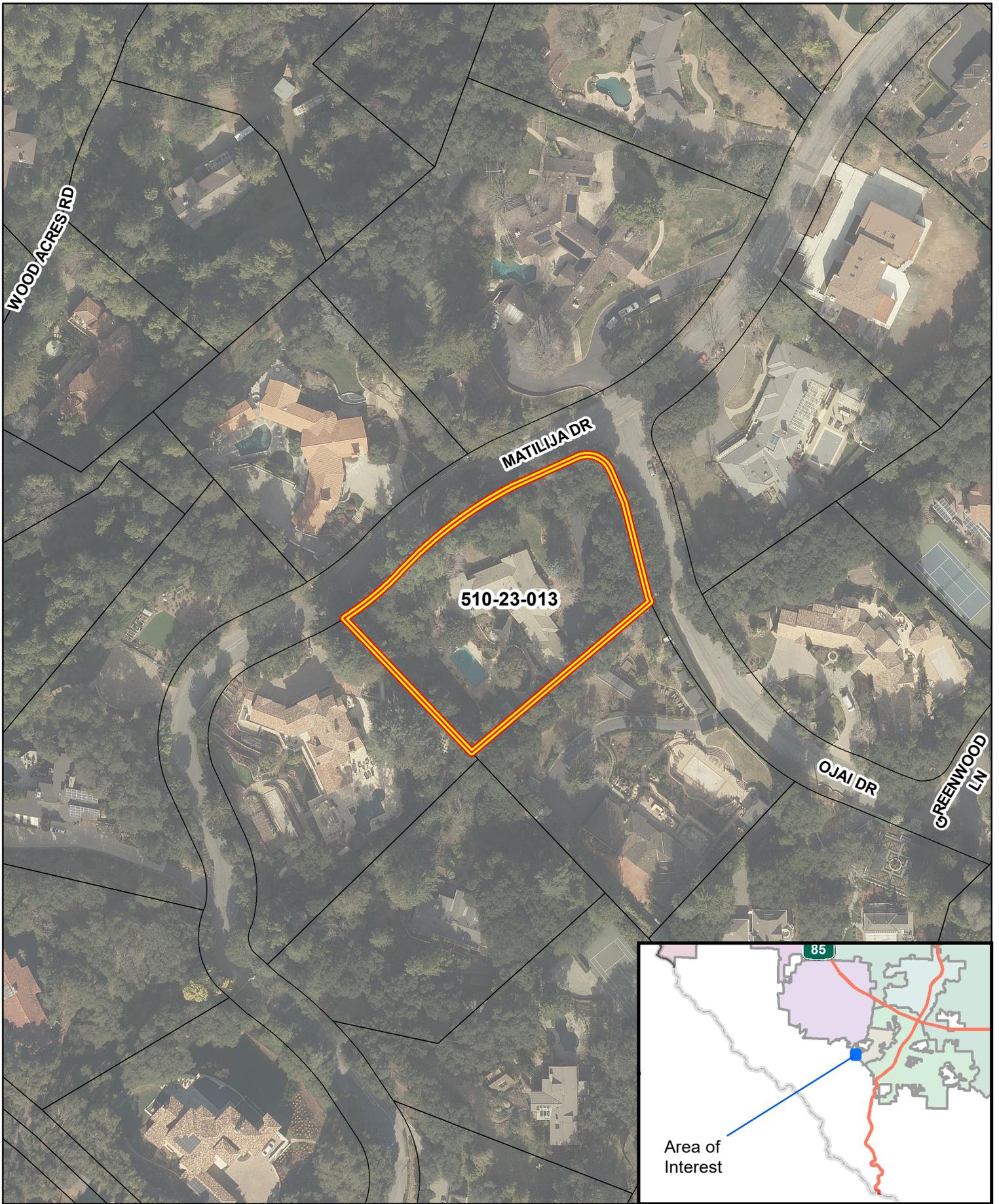
Planning

10. **Prior to final inspection**, contact Lara Tran, at least a week in advance to schedule a site visit to verify the approved exterior colors have been installed as approved and existing landscaping is maintained.

Fire Marshal

11. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure (including existing residences when square footage is added).

NOTE: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor **prior to installation**. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.



File: 11268-18DR
APN: 510-23-013
19020 Ojai Drive, Los Gatos

Vicinity Map
Attachment C



This map created by the Santa Clara County Planning Office. The GIS data was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.
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AN ADDITION AND REMODEL FOR: THE ASHBURN RESIDENCE

19020 OJAI DRIVE,
LOS GATOS, CA 95030

**KOHLSAAT
& ASSOCIATES**
31 UNIVERSITY AVE. #12 • LOS GATOS, CA • 95030 • (408) 352-2551



View from backyard



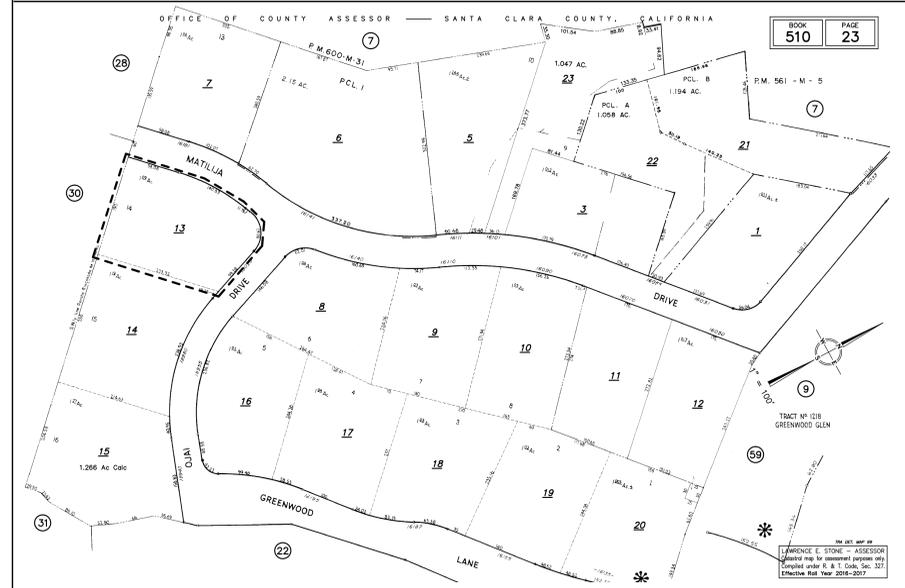
View from driveway



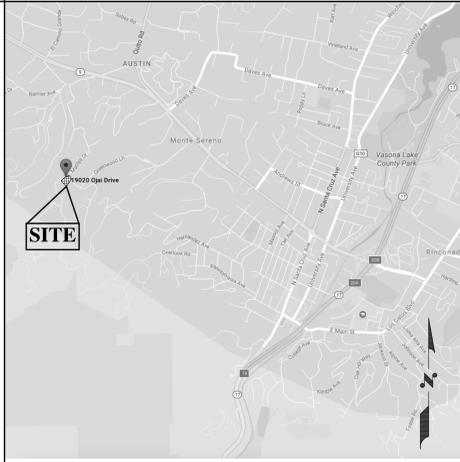
View from driveway

AN ADDITION AND REMODEL FOR:
THE ASHBURN RESIDENCE
19020 OJAI DRIVE • LOS GATOS, CA 95030

ACCESSOR PARCEL MAP



VICINITY MAP



SCOPE OF WORK

ADDITION AND INTERIOR REMODEL FOR AN EXISTING ONE STORY HOME. WORK TO INCLUDE:
 - ADDITION TO THE EXISTING KITCHEN, FAMILY ROOM & BEDROOM WINGS
 - ADDITION TO THE MASTER BATHROOM AND WALK-IN CLOSET
 - RE-CONFIGURE FLOOR PLAN LAYOUT
 - RAISE CEILING FROM 8' TO 9' IN KITCHEN
 - CONSTRUCTION OF (N) ROOF FRAMING (OVER NEW AREAS) INCLUDING RE-SURFACING THE (EX) ROOF
 - CONSTRUCTION OF (N) COVERED PORCH AT FRONT ENTRY
 - CONSTRUCTION OF (N) TRELLIS AT REAR OF HOUSE
 - INSTALL (N) EXTERIOR WINDOWS AND DOORS
 - REPAINT EXTERIOR OF THE BUILDING
 - (N) MEP SYSTEMS TO ACCOMMODATE FLOOR PLAN
 - SEE FLOOR PLAN FOR ADDITIONAL NOTES

NO NEW RETAINING WALL IS PROPOSED. GRADING IS LIMITED TO EXCAVATION FOR NEW FOUNDATION ONLY. NO GRADING IS PROPOSED 5 FEET BEYOND THE NEW BUILDING FOOTPRINT.

LANDSCAPE WORK IS LIMITED TO CUTTING BACK EXISTING AREAS TO ACCOMMODATE NEW ADDITIONS AND FOR FOUNDATION EXCAVATION. NO NEW LANDSCAPE AREA IS PROPOSED.

SHEET INDEX

- A1 - COVER SHEET, PROJECT DATA & SKETCH RENDERS
- C1 - BOUNDARY SURVEY
- A2 - SITE PLAN
- A3 - EXISTING AND DEMO FLOOR PLAN
- A4 - DEMOLITION CALCULATION CONTINUED
- A5 - NEW FLOOR PLAN
- A6 - ROOF PLANS EXISTING/DEMO ELEVATIONS
- A7 - EXISTING/DEMO ELEVATIONS
- A8 - EXISTING/DEMO ELEVATIONS
- A9 - NEW ELEVATIONS
- A10 - NEW ELEVATIONS
- A11 - BUILDING SECTIONS

PROJECT DATA

PROJECT ADDRESS: 19020 OJAI DRIVE
LOS GATOS, CA 95030

APN: 510-23-013

ZONING: RHS-D1

OCCUPANCY GROUP: RS, U

CONSTRUCTION TYPE: VB

AGE OF HOME: BUILT 1956

GROSS & NET SITE AREAS: GROSS: 1.12 Acres (47,539SF)

WILDLAND URBAN INTERFACE ZONE: IN

PARKING: EXISTING ATTACHED 3 CAR GARAGE

FIRE SPRINKLER: NO (LESS THAN 500SF ADDITION)

PROJECT DIRECTORY

OWNERS:
TOM AND BEVERLY ASHBURN
19020 OJAI DRIVE
LOS GATOS, CA 95030
TEL: (408) 345-2025

ARCHITECT:
KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVENUE, SUITE L
LOS GATOS, CA 95030
TEL: (408) 352-2555

SURVEYOR & CIVIL ENGINEER:
HANNA-BRUNETTI
1651 EGGLEBERRY STREET
GILROY, CA 95020
TEL: (408) 842-2175

AREA CALCULATIONS:	EXISTING	PROPOSED	TOTAL
FLOOR AREA RESIDENCE	4,721 SF	ADD 247 SF	4,968 SF
GARAGE	431 SF	NO CHANGE	431 SF
CABANA	266 SF	NO CHANGE	266 SF
EQUIP SHED	133 SF	NO CHANGE	133 SF
TOTAL	6,051 SF	NO CHANGE	6,051 SF

LOT COVERAGE	EXISTING	PROPOSED	TOTAL
ENCLOSED STRUCTURES	6,051 SF	SEE ABOVE**	6,546 SF
COVERED PORCHES	482 SF	REMOVE 220 SF	172 SF
DECK	148 SF	NO CHANGE	148 SF
TRELLIS	0 SF	ADD 463 SF	463 SF
TOTAL	6,681 SF	ADD 463 SF	7,144 SF

* AREA WITH CEILING HEIGHT OVER 15 FT. (COUNTED TOWARDS PLANNING CALCULATIONS ONLY. NOT FOR DEMOLITION CALCULATIONS NOR FOR DETERMINATION FOR FIRE SPRINKLER REQUIREMENTS)

** NOT INCLUDING DBL. CELL AREA

NOTE:
The Contractor shall verify all dimensions, any field work, existing floor levels, and any conditions shall be noted on the site. All conditions shall be noted on the site. All conditions shall be noted on the site.

COVER SHEET

DATE: 7/27/18

SCALE: AS SHOWN

SHEET

A-1

1 OF 10

EXISTING WALL CALCULATIONS

ID	WALL LENGTH	ID	WALL LENGTH	ID	WALL LENGTH	ID	WALL LENGTH
1	51.6	25	8.4	100	17.0	124	4.7
2	18.0	26	8.0	101	1.1	125	19.6
3	4.6	27	6.0	102	12.0	126	1.0
4	4.6	28	8.1	103	8.6	127	5.11
5	23.0	29	5.10	104	14.7	128	5.3
6	7.6	30	6.0	105	2.6	129	5.0
7	15.6	31	2.4	106	4.1	130	22.3
8	7.2	32	7.4	107	11.6	131	2.4
9	12.8	33	2.4	108	6.1	132	1.0
10	6.0	34	4.11	109	3.4	133	6.7
11	24.0	35	7.8	110	8.6	134	5.5
12	6.0	36	8.10	111	3.4	135	5.5
13	10.1	37	15.4	112	2.7	136	6.6
14	21.0	38	14.9	113	0.0	137	7.7
15	10.9	39	8.2	114	14.9	138	2.8
16	32.4	40	6.8	115	19.2	139	5.6
17	17.4	41	0.0	116	7.10	140	10.11
18	10.1	42	0.0	117	5.6	141	2.1
19	29.3	43	0.0	118	3.0	142	15.4
20	19.3	44	5.0	119	5.6	143	2.7
21	7.6	45	4.2	120	32.5	144	8.3
22	14.6	46	15.3	121	4.6	145	7.5
23	2.0	47	1.6	122	3.2	146	4.1
24	7.0	48	6.0	123	8.7	147	7.2
25	4.6	49	1.6	124	16.6	148	2.1
26	44.8	50	1.6	125	8.11	149	5.11
27	4.0	51	6.0	126	14.9	150	3.0
		52	1.6	127	3.0	151	4.9
				128	10.9	152	4.9
				129	10.9	153	4.9
				130	10.9	154	4.9
				131	10.9	155	4.9
				132	10.9	156	4.9
				133	10.9	157	4.9
				134	10.9	158	4.9
				135	10.9	159	4.9
				136	10.9	160	4.9
				137	10.9	161	4.9
				138	10.9	162	4.9
				139	10.9	163	4.9
				140	10.9	164	4.9
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				142	10.9	166	4.9
				143	10.9	167	4.9
				144	10.9	168	4.9
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				146	10.9	170	4.9
				147	10.9	171	4.9
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				163	10.9	187	4.9
				164	10.9	188	4.9
				165	10.9	189	4.9
				166	10.9	190	4.9
				167	10.9	191	4.9
				168	10.9	192	4.9
				169	10.9	193	4.9
				170	10.9	194	4.9
				171	10.9	195	4.9
				172	10.9	196	4.9
				173	10.9	197	4.9
				174	10.9	198	4.9
				175	10.9	199	4.9
				176	10.9	200	4.9
				177	10.9	201	4.9
				178	10.9	202	4.9
				179	10.9	203	4.9
				180	10.9	204	4.9
				181	10.9	205	4.9
				182	10.9	206	4.9
				183	10.9	207	4.9
				184	10.9	208	4.9
				185	10.9	209	4.9
				186	10.9	210	4.9
				187	10.9	211	4.9
				188	10.9	212	4.9
				189	10.9	213	4.9
				190	10.9	214	4.9
				191	10.9	215	4.9
				192	10.9	216	4.9
				193	10.9	217	4.9
				194	10.9	218	4.9
				195	10.9	219	4.9
				196	10.9	220	4.9
				197	10.9	221	4.9
				198	10.9	222	4.9
				199	10.9	223	4.9
				200	10.9	224	4.9
				201	10.9	225	4.9
				202	10.9	226	4.9
				203	10.9	227	4.9
				204	10.9	228	4.9
				205	10.9	229	4.9
				206	10.9	230	4.9
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				210	10.9	234	4.9
				211	10.9	235	4.9
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				213	10.9	237	4.9
				214	10.9	238	4.9
				215	10.9	239	4.9
				216	10.9	240	4.9
				217	10.9	241	4.9
				218	10.9	242	4.9
				219	10.9	243	4.9
				220	10.9	244	4.9
				221	10.9	245	4.9
				222	10.9	246	4.9
				223	10.9	247	4.9
				224	10.9	248	4.9
				225	10.9	249	4.9
				226	10.9	250	4.9
				227	10.9	251	4.9
				228	10.9	252	4.9
				229	10.9	253	4.9
				230	10.9	254	4.9
				231	10.9	255	4.9
				232	10.9	256	4.9
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				234	10.9	258	4.9
				235	10.9	259	4.9
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				238	10.9	262	4.9
				239	10.9	263	4.9
				240	10.9	264	4.9
				241	10.9	265	4.9
				242	10.9	266	4.9
				243	10.9	267	4.9
				244	10.9	268	4.9
				245	10.9	269	4.9
				246	10.9	270	4.9
				247	10.9	271	4.9
				248	10.9	272	4.9
				249	10.9	273	4.9
				250	10.9	274	4.9
				251	10.9	275	4.9
				252	10.9	276	4.9
				253	10.9	277	4.9
				254	10.9	278	4.9
				255	10.9	279	4.9
				256	10.9	280	4.9
				257	10.9	281	4.9
				258	10.9	282	4.9
				259	10.9	283	4.9
				260	10.9	284	4.9
				261	10.9	285	4.9
				262	10.9	286	4.9
				263	10.9	287	4.9
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				269	10.9	293	4.9
				270	10.9	294	4.9
				271	10.9	295	4.9
				272	10.9	296	4.9
				273	10.9	297	4.9
				274	10.9	298	4.9
				275	10.9	299	4.9
				276	10.9	300	4.9
				277	10.9	301	4.9
				278	10.9	302	4.9
				279	10.9	303	4.9
				280	10.9	304	4.9
				281	10.9	305	4.9
				282	10.9	306	4.9
				283	10.9	307	4.9
				284	10.9	308	4.9
				285	10.9	309	4.9
				286	10.9	310	4.9
				287	10.9	311	4.9
				288	10.9	312	4.9
				289	10.9	313	4.9
				290	10.9	314	4.9
				291	10.9	315	4.9
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				294	10.9	318	4.9
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				312	10.9	336	4.9
				313	10.9	337	4.9
				314	10.9	338	4.9
				315	10.9	339	4.9
				316	10.9	340	4.9
				317	10.9	341	4.9
				318	10.9	342	4.9

NOTE:
 The Contractor will verify all dimensions, any field work, and all work for accuracy and any conditions shall prevail from the date of the Contractor's acceptance of the final installation.

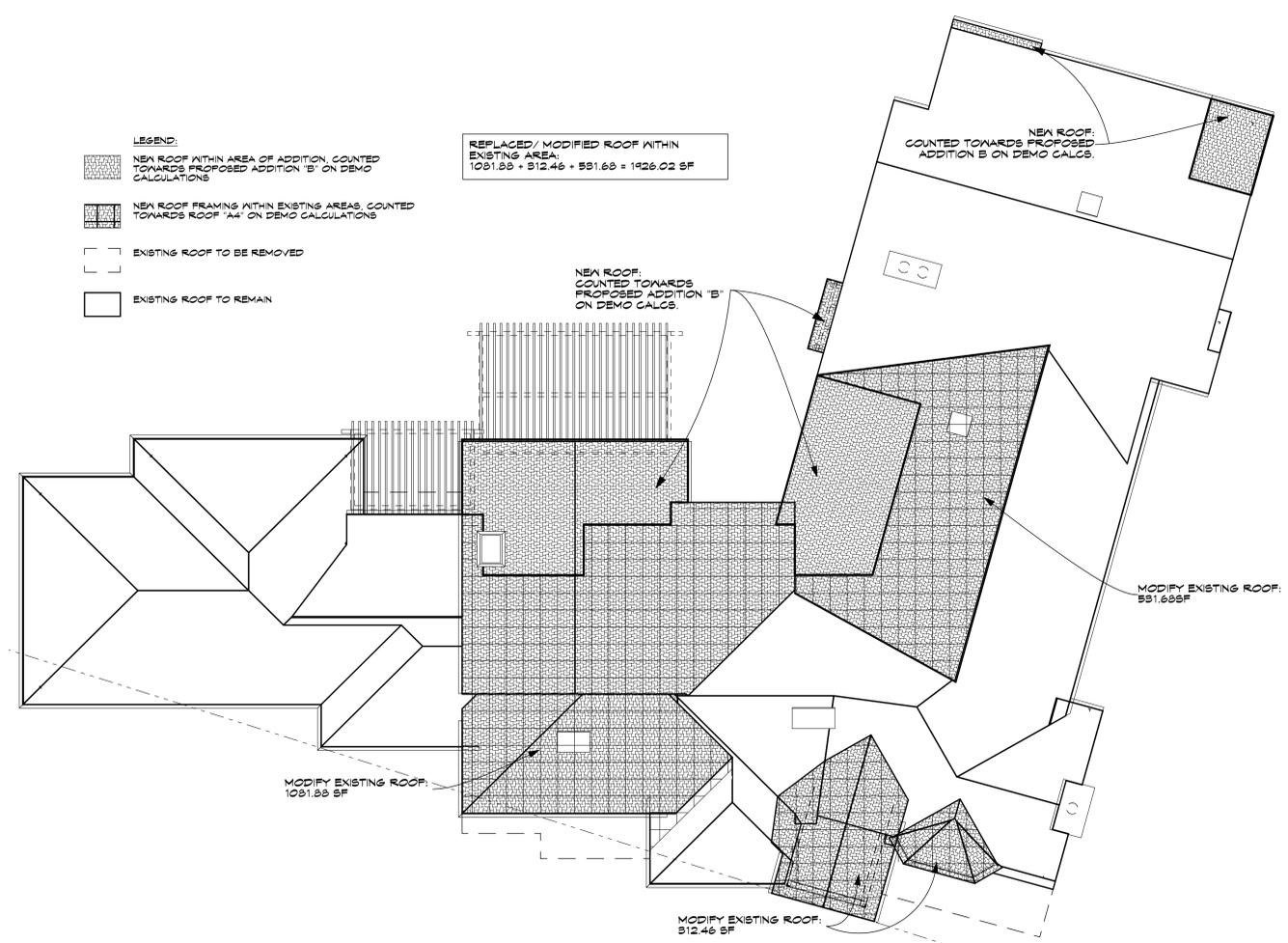
DEMOLITION CALCLS - ROOF PLANS

DATE: 4/11/18

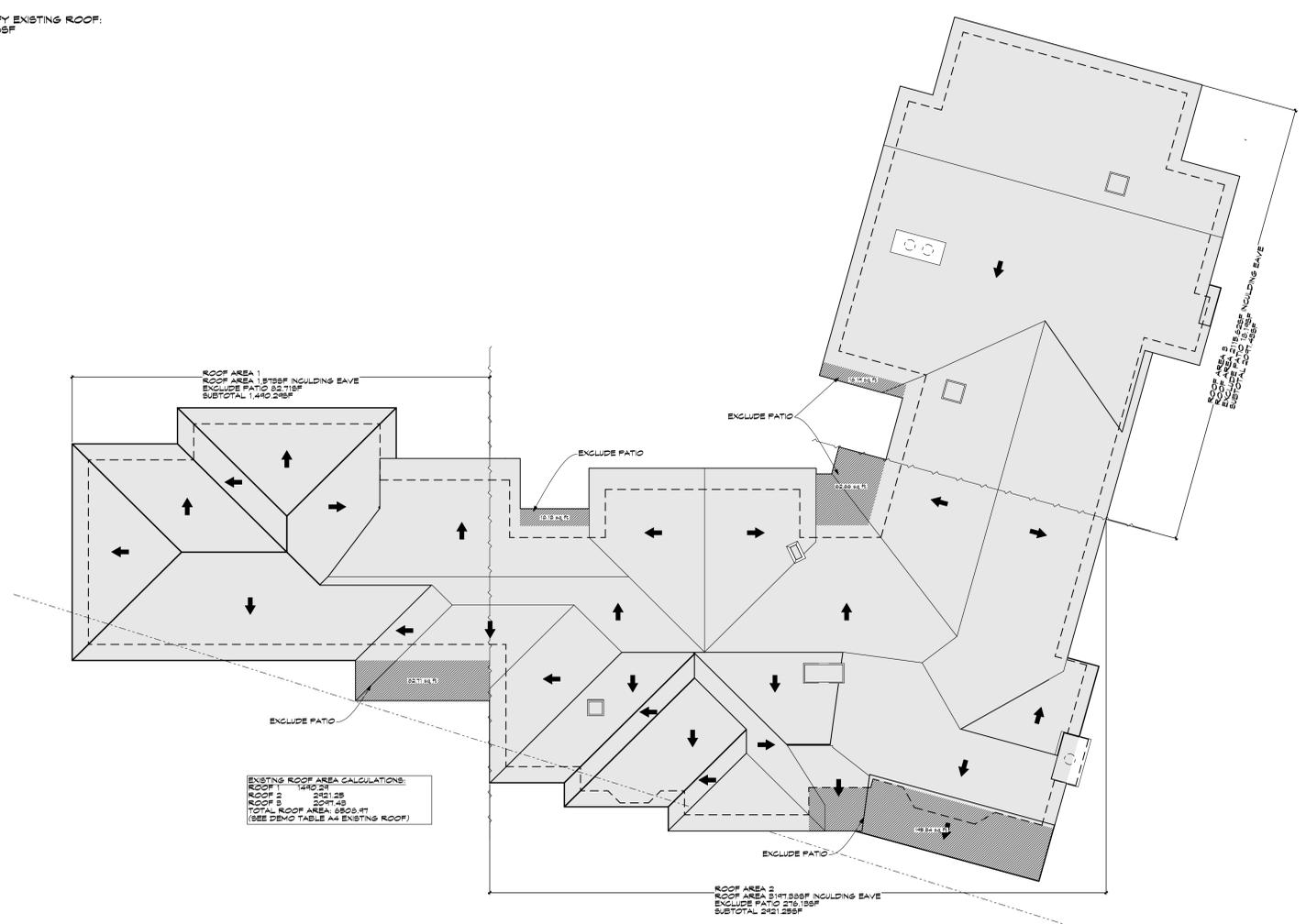
SCALE: AS SHOWN

SHEET

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 4 OF 10



ROOF PLAN SHOWING NEW ROOF AREAS
 SCALE: 1/8" = 1'-0"



EXISTING ROOF PLAN
 SCALE: 1/8" = 1'-0"

DEMOLITION CALCULATIONS:
 NEW WALLS WITHIN EXISTING RESIDENCE AREA ARE COUNTED TOWARDS 'A3'
 NEW WALLS WITHIN NEW AREAS (SHADED) ARE COUNTED TOWARDS PROPOSED ADDITION 'B'

NOTE:
 The Contractor shall verify all dimensions, any field work, and all other conditions of the project before starting construction. All dimensions shall be taken from the final approved floor plan. The Contractor shall be responsible for all field work and all other conditions of the project.

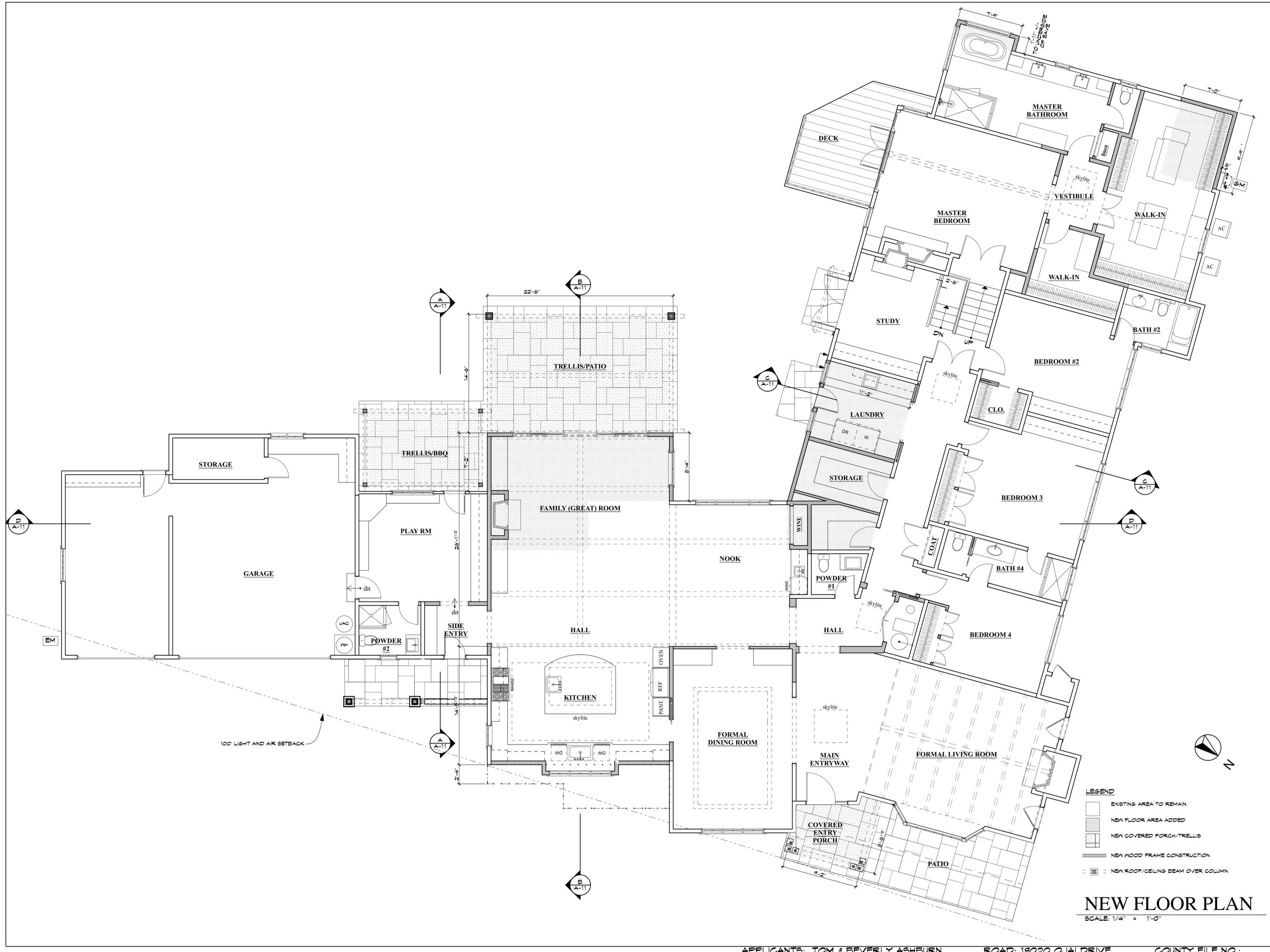
FLOOR PLAN

DATE: 7/27/18

SCALE: AS SHOWN

SHEET

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 5 OF 10



- LEGEND**
- EXISTING AREA TO REMAIN
 - NEW FLOOR AREA ADDED
 - NEW COVERED PORCH/TRELLIS
 - NEW WOOD FRAME CONSTRUCTION
 - NEW ROOF/CEILING BEAM OVER COLUMN

NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
The Contractor shall verify all dimensions, any field work, and all other information on any conditions shall prevail from the date of the Contractor's acceptance of the final plan.

ROOF PLAN

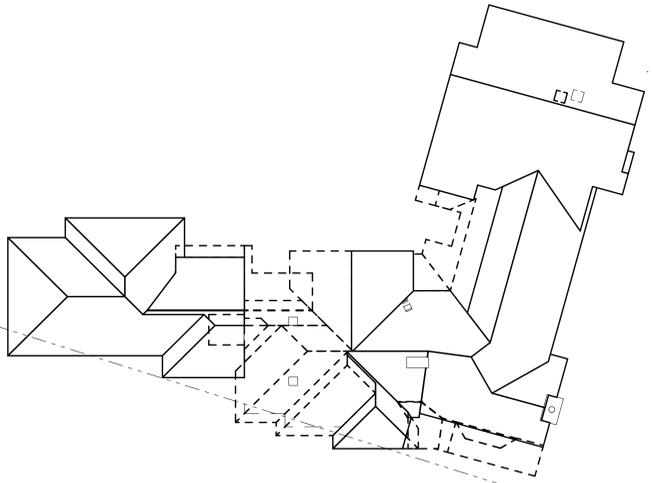
DATE: 7/27/18

SCALE: AS SHOWN

SHEET

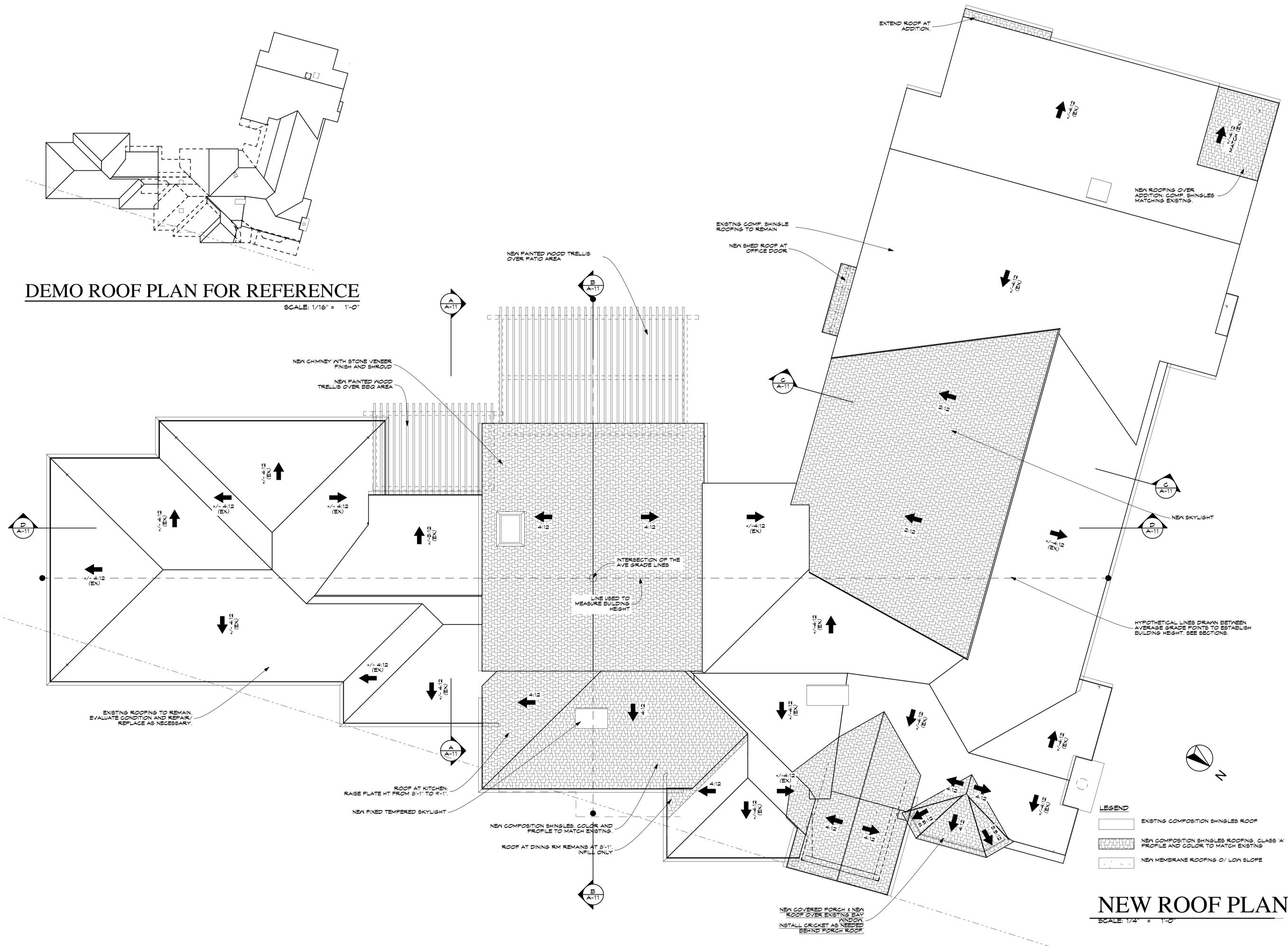
A-6

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DEMO ROOF PLAN FOR REFERENCE

SCALE: 1/16" = 1'-0"



EXISTING ROOFING TO REMAIN. EVALUATE CONDITION AND REPAIR/REPLACE AS NECESSARY.

ROOF AT KITCHEN: RAISE PLATE HT FROM 8'-1" TO 9'-1".

NEW FIXED TEMPERED SKYLIGHT

NEW COMPOSITION SHINGLES. COLOR AND PROFILE TO MATCH EXISTING.

ROOF AT DINING RM REMAINS AT 8'-1" IN-FILL ONLY.

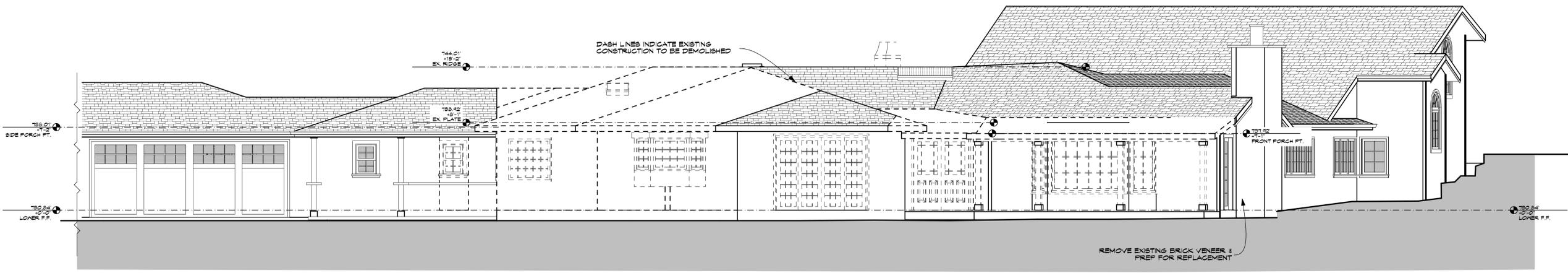
NEW COVERED PORCH & NEW ROOF OVER EXISTING BAY WINDOW. INSTALL CRICKET AS NEEDED BEHIND PORCH ROOF.

LEGEND

- EXISTING COMPOSITION SHINGLES ROOF
- NEW COMPOSITION SHINGLES ROOFING, CLASS 'A' PROFILE AND COLOR TO MATCH EXISTING
- NEW MEMBRANE ROOFING 0°/ LOW SLOPE

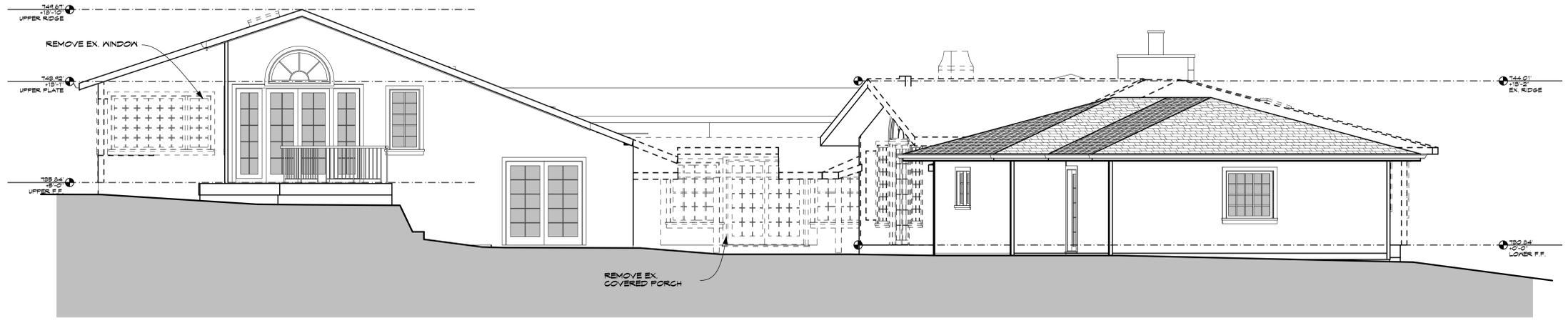
NEW ROOF PLAN

SCALE: 1/4" = 1'-0"



EXISTING EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH (LEFT) ELEVATION

SCALE: 1/4" = 1'-0"

AN ADDITION AND REMODEL FOR:
THE ASHBURN RESIDENCE
 19020 OJAI DRIVE • LOS GATOS, CA 95030

NOTE:
 The Contractor will verify all dimensions, any field work, and all materials for existing or any conditions different from those indicated on the Architect's drawings prior to installation.

EXISTING ELEVATIONS

DATE: 7/27/18

SCALE: AS SHOWN

SHEET

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NOTE:
The Contractor will verify all dimensions, and field work, before starting any work. All dimensions shall be taken from finished conditions unless otherwise noted. All dimensions shall be taken from the finished conditions unless otherwise noted.

EXISTING ELEVATIONS

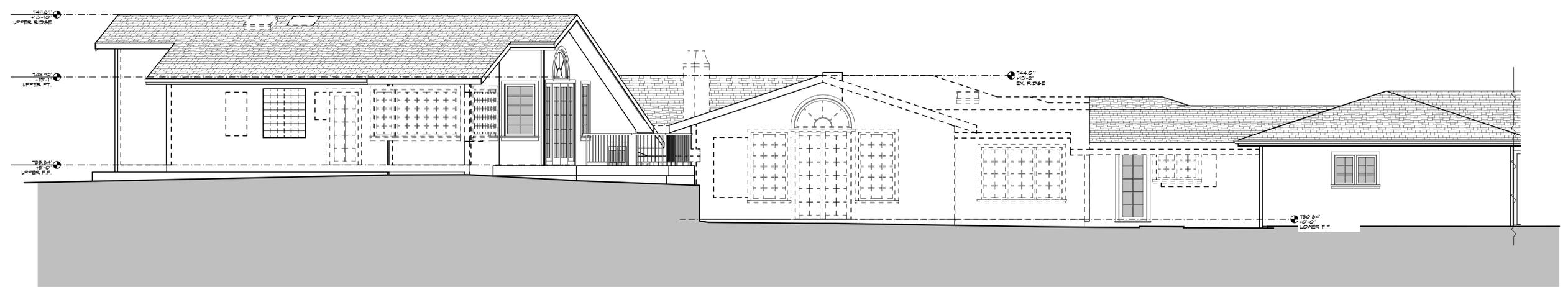
DATE: 7/27/18

SCALE: AS SHOWN

SHEET

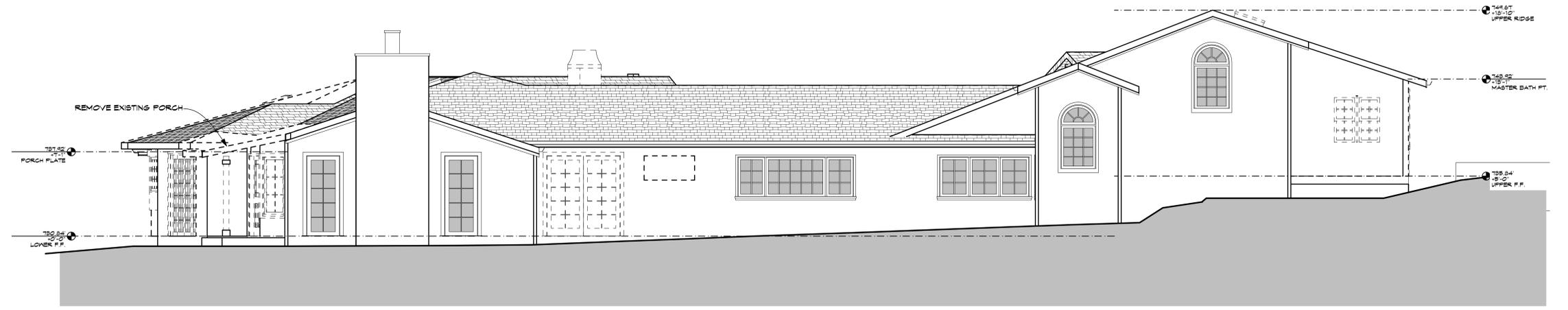
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EXISTING WEST (REAR) ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH (RIGHT) ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 The Contractor will verify all dimensions, any field work, and all materials for accuracy and any conditions shall prevail from the date of installation.

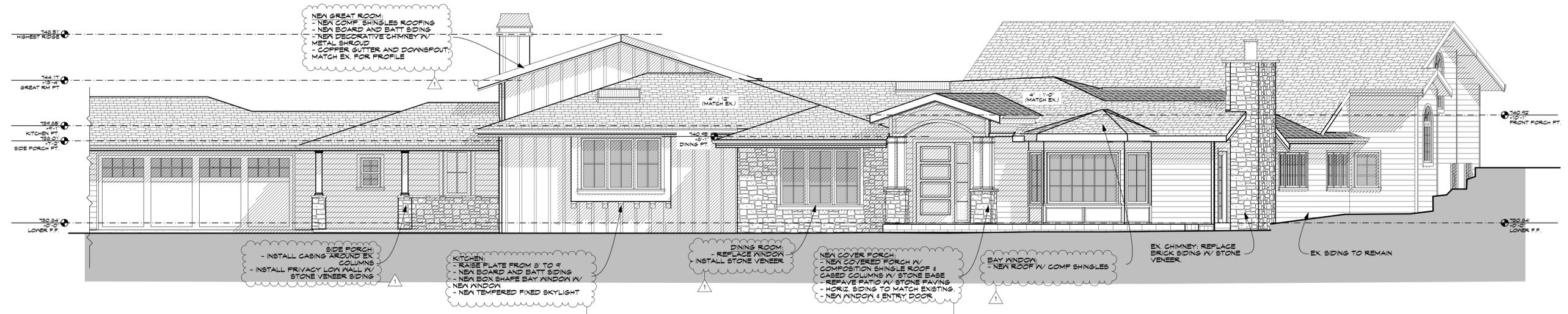
FRONT & LEFT ELEVATIONS

DATE: 7/27/18

SCALE: AS SHOWN

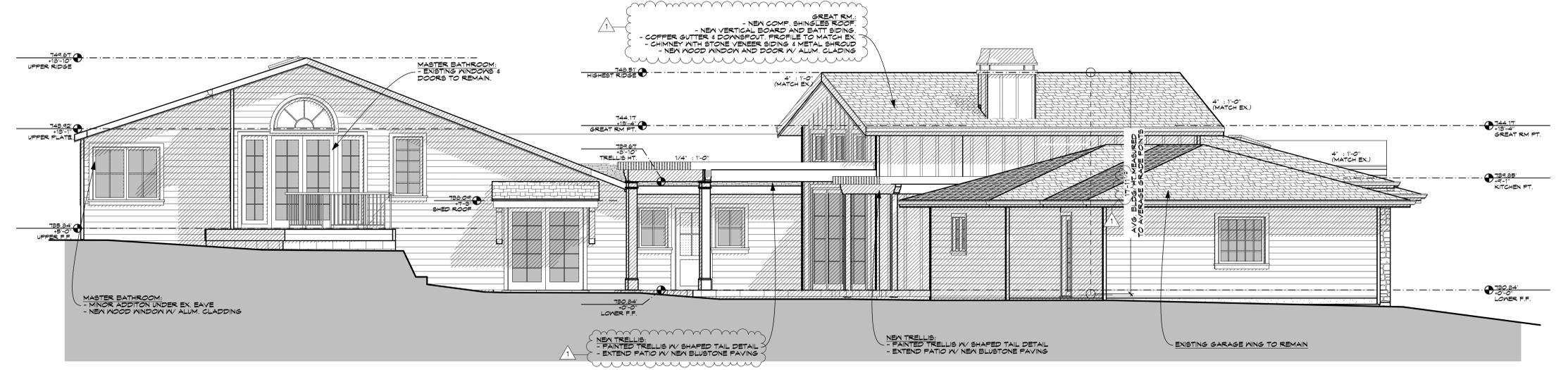
SHEET

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NEW EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



NEW SOUTH (LEFT) ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 The Contractor will verify all dimensions, any field work, and all materials for accuracy and any conditions shall remain the responsibility of the Contractor. All materials shall be installed in accordance with manufacturer's specifications.

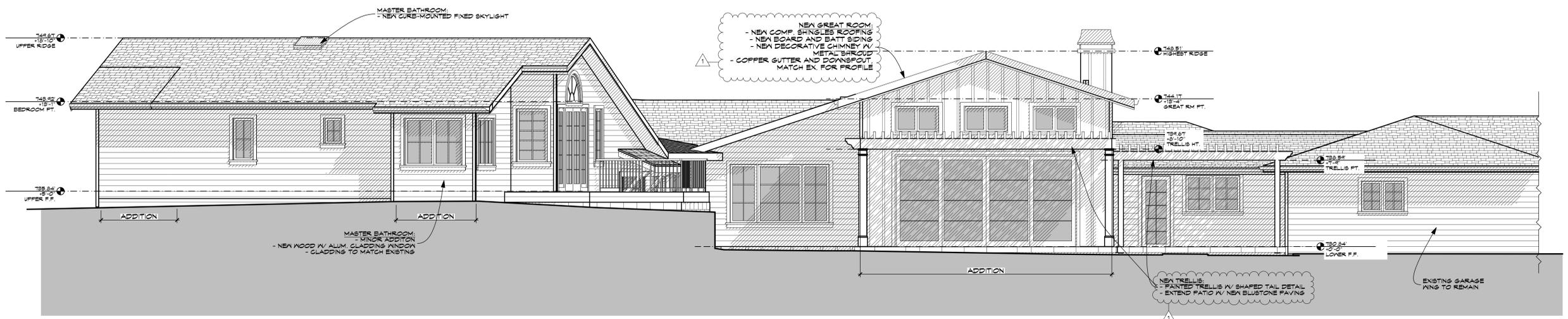
REAR & RIGHT ELEVATIONS

DATE: 7/27/18

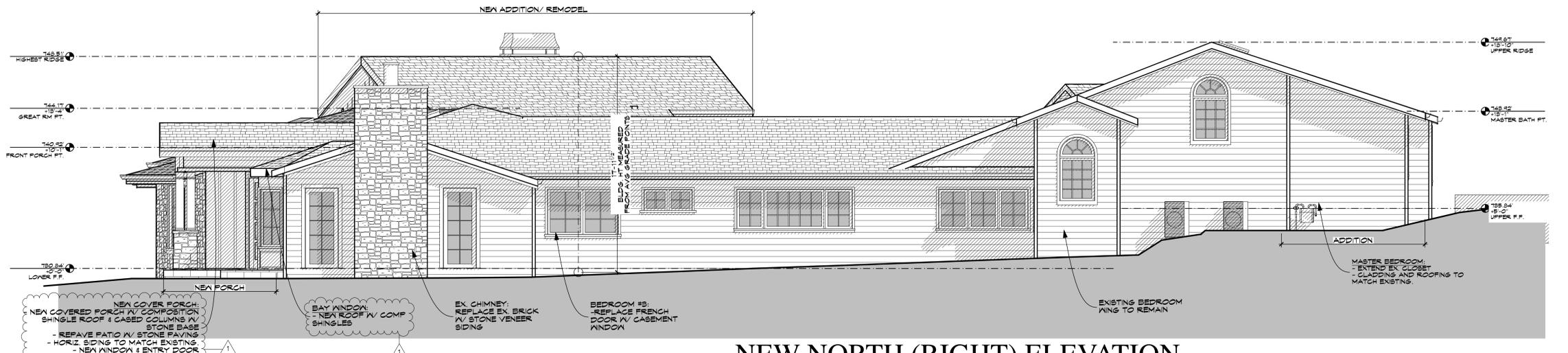
SCALE: AS SHOWN

SHEET

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NEW WEST (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"



NEW NORTH (RIGHT) ELEVATION
 SCALE: 1/4" = 1'-0"

NOTE:
 The Contractor will verify all dimensions, any field work, and all other information on any conditions of the project from the field. The Architect is not responsible for field verification.

BUILDING CROSS-SECTIONS

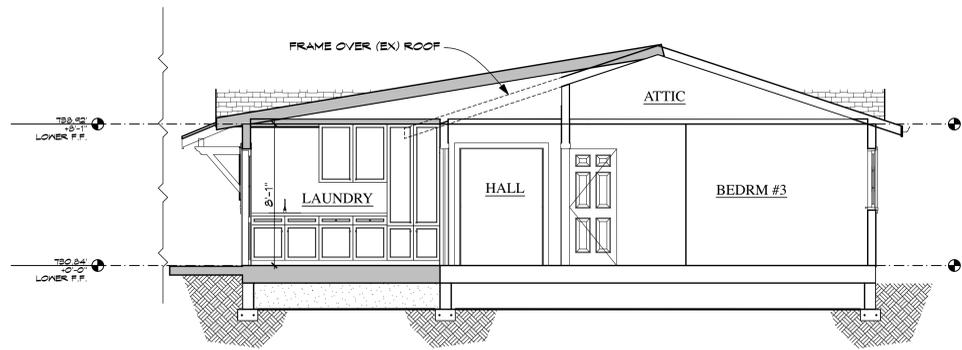
DATE: 7/27/18

SCALE: AS SHOWN

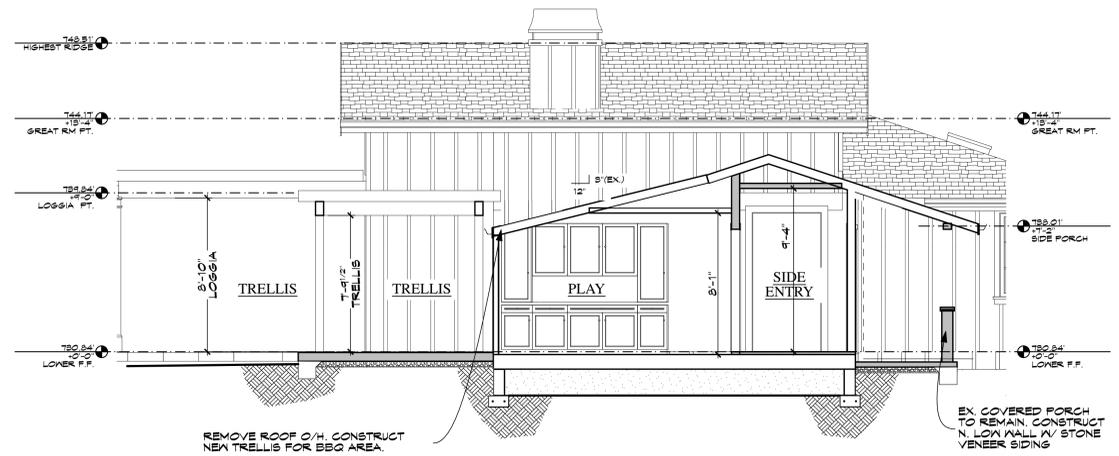
SHEET

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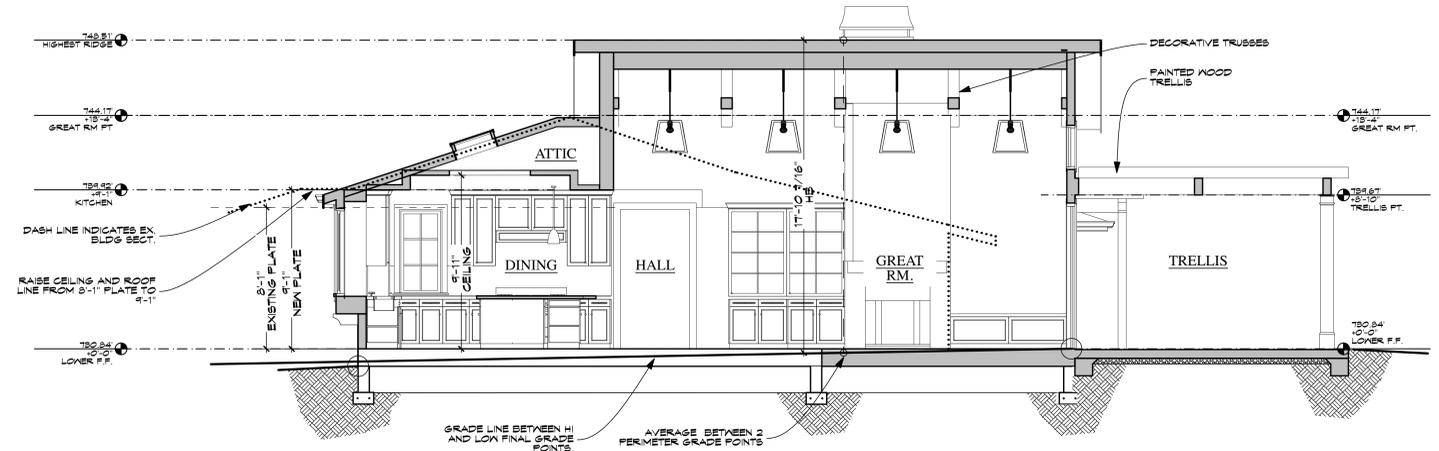
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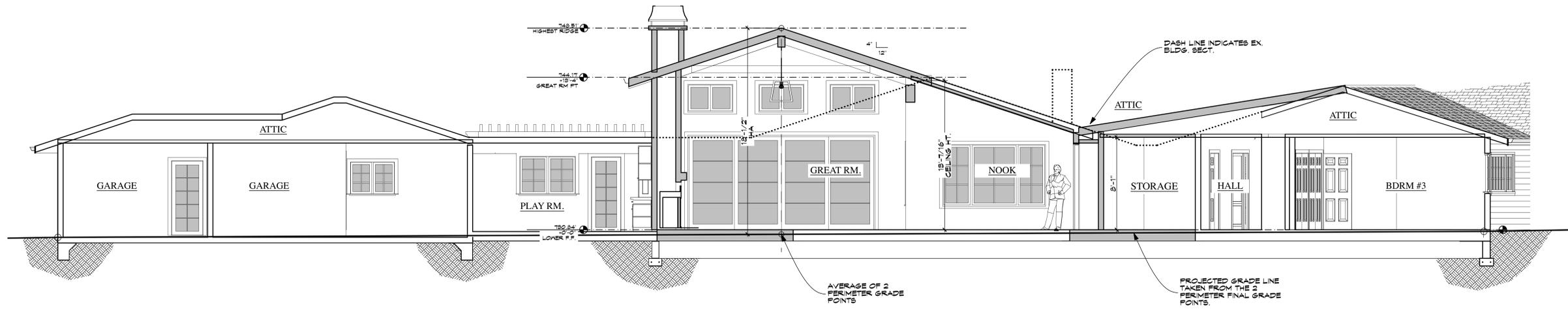
C. THRU LAUNDRY AND HALL
 SCALE: 1/4" = 1'-0"



A. THRU MUD ROOM
 SCALE: 1/4" = 1'-0"



B. THRU GREAT ROOM
 SCALE: 1/4" = 1'-0"



D. THRU GREAT ROOM VIEW 2
 SCALE: 1/4" = 1'-0"