

# County of Santa Clara

Department of Planning and Development  
Planning Office

County Government Center, East Wing, 7th Floor  
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San Jose, California 95110-1705  
(408) 299-5770 FAX (408) 288-9198  
www.sccplanning.org



STAFF REPORT  
Zoning Administration  
October 4, 2018  
**Item #4**

Staff Contact: Lara Tran  
(408) 299-5759/ [lara.tran@pln.sccgov.org](mailto:lara.tran@pln.sccgov.org)

**File: 11306 - 18SP**  
**Special Permit for a detached accessory building (pool cabaña)**  
**containing more than two internal plumbing fixtures.**

**Summary:** Special Permit to allow more than two plumbing fixtures (five fixtures proposed) in a 544 sq. ft. pool house pursuant to § 4.20.020(I).

**Owner:** Devesh Patel and Shital Patel  
**Applicant:** Devesh Patel and Shital Patel  
**Lot Size:** 0.4 acres  
**APN:** 336-11-006  
**Supervisory District:** #5

**Gen. Plan Designation:** USA (Los Altos)  
**Zoning:** R1E-20-n1  
**Address:** 420 Valley View Drive  
**Present Land Use:** Single Family Res.  
**Approved Building Site:** Yes

## **RECOMMENDED ACTIONS**

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- A. Accept a Categorical Exemption, under Section 15303(e) of the CEQA Guidelines, Attachment A
- B. Grant Special Permit Approval, subject to conditions outlined in Attachment B.

## **ATTACHMENTS INCLUDED**

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Attachment A – Proposed CEQA Determination  
Attachment B – Proposed Conditions of Approval  
Attachment C – Location & Vicinity Map  
Attachment D – Proposed Plans

## PROJECT DESCRIPTION

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The proposed project is a conversion of the existing 544 square foot garage to a pool cabaña with more than two (2) plumbing fixtures. The structure includes one (1) full bath with two (2) additional plumbing fixtures resulting in a total of five (5) plumbing fixtures. There is no proposed grading, or tree removal as the project is a conversion of an existing structure into a pool cabaña. The proposed location of the pool cabaña is in the rear yard of the lot, adjacent the existing pool, approximately 12 feet and 52 feet from the side property lines, and 30 feet from the rear property line.

The lot is a 0.4-acre parcel located at the northwest corner of Valley View Drive and Knoll Drive, in the unincorporated area of Santa Clara County. Associated site improvements include demolition of the existing breezeway and removal of the pool equipment shed adjacent to the existing garage. As a separate building permit, the applicant will construct a new 625 square-foot garage adjacent to the proposed pool cabaña to accommodate the required minimum one (1) covered parking space per County Zoning Ordinance Section 4.30.030.

### Setting/Location Information

The subject property is located in the northern portion of the unincorporated area of Santa Clara County, east of Highway 280, at the northwest corner of Valley View Drive and Knoll Drive. The lot was created with the Summerhill Heights Subdivision Tract. The neighborhood character consists of a mix of original ranch style homes built in the 1950s and modern homes built in 2010 ranging from 1,500– 3,000 square feet.

## REASONS FOR RECOMMENDATIONS

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### A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption, Section 15303 (Class 3e) for accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences in a residential zone.

### B. Project/Proposal

1. **General Plan:** Urban Service Area (USA) – Los Altos.
2. **Approved Building Site:** Yes. – Summerhill Heights Subdivision, Tract 248.
3. **Zoning Standards.** The proposed project satisfies the required development standards for accessory structures, as summarized below:

<b>Setbacks (R1E):</b>	Located in rear half of lot, within the rear yard, or at least 75-feet from the front property line.
<b>Maximum Height:</b>	12-foot average (between ridge and top plate with hip or gable roof with a maximum of 16 ft.)
<b>Stories:</b>	1 story

**4. Compliance with Development Standards (Accessory Structures) and Specific Findings (Restrictions on Plumbing Fixtures).**

The proposed garage conversion into a pool cabaña has a height of 15 feet (built with a building permit in 1950) which is within 16 foot. maximum height for accessory structures. The location of the pool cabaña conforms to the development standards stipulated for accessory structures (located in the rear yard of the property or at least 75 ft. from the front property line), and the pool cabaña is not designed to be used for dwelling purposes or overnight accommodations. The proposed layout of the pool cabaña includes one (1) full bath with an open lounge/patio area. The proposed accessory building is approximately 544 square feet in size. As such, the pool cabaña is of an appropriate size and design for the intended use and complies with the specific findings for “Restrictions on Plumbing Fixtures,” pursuant to Section 4.20.020(I)(2).

**5. Special Permit:**

In addition to specific findings identified in Section 4 above, accessory structures (such as a pool house) with more than two (2) internal plumbing fixtures are also subject to a Special Permit (Chapter 5.60). In the following discussion, the scope of review findings for a Special Permit are delineated in **bold** type, and an explanation of how the project meets the required findings is in plain text below. The Zoning Administrator is required to make findings to approve the project.

**A. The proposed use conforms with the general plan, with the zoning ordinance, and with all standards applicable to the proposed use that have been adopted by the Planning Commission or Board of Supervisors;**

As discussed in Section 4 of this report, the project conforms to all standards stipulated in County General Plan and Zoning Ordinance. The existing garage being converted into a pool cabaña meets the accessory average height of 12 feet or the maximum 16 ft. height total. The height of the proposed pool cabana (existing garage) is 15 feet (built with a building permit in 1950) and will be maintained within the overall height limit of 16 ft.

The location of property is within the -n1 (Los Altos) combined zoning district which has a floor area limitation. Per County Zoning Ordinance Section 3.40.030(2)(c), floor area would include cumulative area of accessory structures over 500 s.f. The project proposes conversion of an existing accessory structure of 544 s.f., and therefore, would count towards the overall floor area of the entire property. Staff reviewed the floor area calculations signed and stamped by Chris Spaulding Architect to confirm the project will not exceed the allowable floor area of 4,343 square feet, or 23.5% of the total lot area (18,430 square feet).

**B. The site is adequate for the proposed use, including but not limited to being of adequate size and shape to accommodate all facilities and development**

**features to integrate the use into the surrounding area and to provide any necessary or appropriate buffers between the use and the surrounding area;**

The site is adequate to accommodate the proposed pool cabaña. The subject site is approximately 0.4 acres, and the proposed pool cabaña satisfies the required setbacks for residential accessory structures, (rear yard or at least 75 feet from front property line). The proposed layout in the pool cabaña is of an appropriate design to have one (1) full bath and a lounge area. Furthermore, the structure is existing and will not create any new additional impacts to neighboring properties. As such, the area of the property and the location of the proposed structure offers adequate separation and provides a buffer between the proposed use and the surrounding uses and/or neighborhood.

**C. The proposed use will not be detrimental to the public health, safety, or general welfare. In this respect the zoning administrator shall further find, without limitation, that:**

**1. Adequate off-street parking, loading and unloading areas (if applicable) and handicapped access will be provided;**

As the existing garage is proposed for conversion into a pool cabaña, the applicant will build a 625 square-foot detached garage adjacent to the proposed pool cabaña to accommodate the required minimum one (1) covered parking space per County Zoning Ordinance Section 4.30.030.

**2. Appropriately designed site access will be provided, including safe and adequate access for fire and emergency vehicles (including secondary access where deemed necessary by the fire marshal);**

Fire sprinklers will not be needed for the proposed structures as the pool cabaña is not enclosed by a perimeter wall on one of its sides and the garage is not a living quarter. Existing breezeway will be demolished to separate the pool cabaña from the main residence. The structures are appropriately designed for safe and adequate access for fire and emergency access.

**3. The use will not adversely affect water quality. Adequate wastewater treatment, disposal and sanitation facilities will be provided and will satisfy all applicable local, state and federal requirements;**

The property is an urban lot and has sewer service with the City of Los Altos. The proposed structure has access to a sewer lateral and would also be connected to the sanitary sewer system.

**4. The use will not be detrimental to the adjacent area because of excessive noise, odor, dust or bright lights;**

This project would be permitted “by-right” if the application only included two (2) plumbing fixtures. The installation of more than two (2) plumbing fixtures would not create noise, odor, dust or excessive light impacts. Furthermore, residential and accessory uses shall be subject to the County Noise Ordinance.

**5. The use will not substantially worsen traffic congestion affecting the surrounding area;**

Not applicable.

**6. Erosion will be adequately controlled; and**

Standard conditions and BMP’s are conditioned and will be required through building permit review.

**7. Adequate storm drainage management exists or will be provided and will comply with all applicable local, state and federal requirements.**

Special Permit is only for the conversion of the existing garage to a pool cabaña and the proposal of more than 2 plumbing fixtures. The plans show an addition to the single-family residence and the construction of a new garage to meet the residential parking requirements. The Special Permit by itself would not trigger the requirement of a Drainage Permit. However, LDE is reviewing the entire site plan which proposes additions to the main residence including construction of a new garage with a new asphalt/concrete driveway, which would exceed 2,000 s.f. of new impervious surface, triggering the requirement for a Drainage Permit.

## **BACKGROUND**

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The property was created as part of the Summerhill Heights Tract Map No. 248 recorded on February 26, 1948. The existing residence was built in 1950 with some additions made to the main house in 1964 and 1966 (as shown in building permit history).

The current owners, Devesh Patel and Shital Patel, applied for a Special Permit on June 5, 2018, which was subsequently deemed incomplete on July 5, 2018. After submitting all required information, on September 11, 2018, Staff deemed the application complete. A public notice was mailed to all property owners within a 300-foot radius on September 25, 2018 and published in the Post Record on September 20, 2018.

## **STAFF REPORT REVIEW**

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Prepared by: Lara Tran, Associate Planner   
Reviewed by: Leza Mikhail, Principal Planner/Zoning Administrator 

- Attachments:
- 1) Notice of Exemption from CEQA
  - 2) Preliminary Conditions of Approval
  - 3) Location and Vicinity Map
  - 4) Proposed Plans

## ATTACHMENT A

# Notice of Exemption from CEQA

To:  County Clerk-Recorder  
County of Santa Clara

Office of Planning & Research  
PO Box 3044, Room 222  
Sacramento, CA 95812-3044

Project Title Special Permit for a pool cabaña at 420 Valley View Drive, Los Altos	File Number (if applicable) 11306-18SP
Project Location 420 Valley View Drive, northwest corner of Valley View Drive and Knoll Drive in unincorporated Los Alto, CA. Zoning R1E-20-n1.	
Public Agency Approving Project County of Santa	Person or Agency Carrying Out Project Lara Tran, Associate Planner
Project Description (including purpose and beneficiaries of project) Special Permit to convert the existing 544 square foot garage to a pool cabaña with more than two (2) plumbing fixtures. The structure includes one (1) full bath with two (2) additional plumbing fixtures for a total of five (5) plumbing fixtures. There is no proposed grading as the project is a conversion of an existing structure into a pool cabaña.	
Exempt Status check one/indicate type of State CEQA Guidelines section number:  <input checked="" type="checkbox"/> Categorical Exemption [CEQA Guidelines 15301-15333]: <input type="checkbox"/> Statutory Exemption [CEQA Guidelines 15260-15285]: <input type="checkbox"/> Declared Emergency [15269(a): <input type="checkbox"/> Emergency Project [15269(b)(c): <input type="checkbox"/> General Rule [CEQA Guidelines 15061(b)(3)]:	
Reasons the project is exempt: The proposed project qualifies for a Categorical Exemption, Section 15303 (Class 3e) for accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences in a residential zone. No unusual circumstances exist as to constitute significant environmental effects, per subsection 15000.2(c).	
County Contact Person	Title
Lara Tran	Associate Planner
	Telephone Number
	(408) 299-5759

Date: 9/26/18

Signature:



Name/Title:

Lara Tran/Associate Planner

Approved by:



**ATTACHMENT B**  
**SPECIAL PERMIT**  
**Preliminary Conditions of Approval**

11306 – 18SP

**Owner/Applicant:** Devesh Patel and Shital Patel  
**File Number:** 11306-18SP  
**Location:** 420 Valley View Drive, Los Altos (APN: 336-11-006)  
**Project Description:** Special Permit for a pool cabaña with three or more plumbing fixtures

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a particular specialty or office and can provide details about the conditions of approval.

<b>Agency</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Planning	Lara Tran	(408) 299- 5759	<a href="mailto:lara.tran@pln.sccgov.org">lara.tran@pln.sccgov.org</a>
Environmental Health	Darrin Lee	(408) 299 – 5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Land Development Engineering	Darrell Wong	(408) 299 – 5735	<a href="mailto:darrell.wong@pln.sccgov.org">darrell.wong@pln.sccgov.org</a>
Building Inspection		(408) 299-5700	

**STANDARD CONDITIONS OF APPROVAL**

Planning

1. Development must take place in accordance with the approved plans, prepared by Chris Spaulding Architect, submitted on August 21, 2018.
2. Subject pool house may not be used for dwelling purposes or overnight accommodations.

Environmental Health

3. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction

Building Inspection Office

4. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Office of Building Inspection or visit

their website ([www.sccbuilding.org](http://www.sccbuilding.org)).

## **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE**

### Planning

5. **Prior to building permit issuance** of the pool cabaña, the building permit for the new 625 ft. garage needs to be issued. As the single-family residence requires at least one (1) covered parking space, the building permit conversion of the existing garage to a pool cabaña will not be issued until the building permit for the proposed 625 square foot garage is issued.
6. **Prior to building permit issuance**, apply for a demolition permit to remove the existing breezeway.
7. **Prior to building permit issuance**, provide F.A.R. calculations signed and stamped by licensed architect, licensed land surveyor, or registered civil engineer.
8. Pursuant to §5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

### Land Development Engineering

9. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
10. The building plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
11. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

### Drainage

12. **Prior to building permit issuance**, the net increase of impervious area as a part of this project shall be stated on the Building Plans. If the net increase of impervious area exceeds 2,000 s.f, the project will require a drainage permit to be separately obtained from the building permit for the conversion of the existing garage to a cabana. The

drainage permit plans and calculations may be submitted concurrently with the building permit for review.

*Utilities*

13. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the building plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

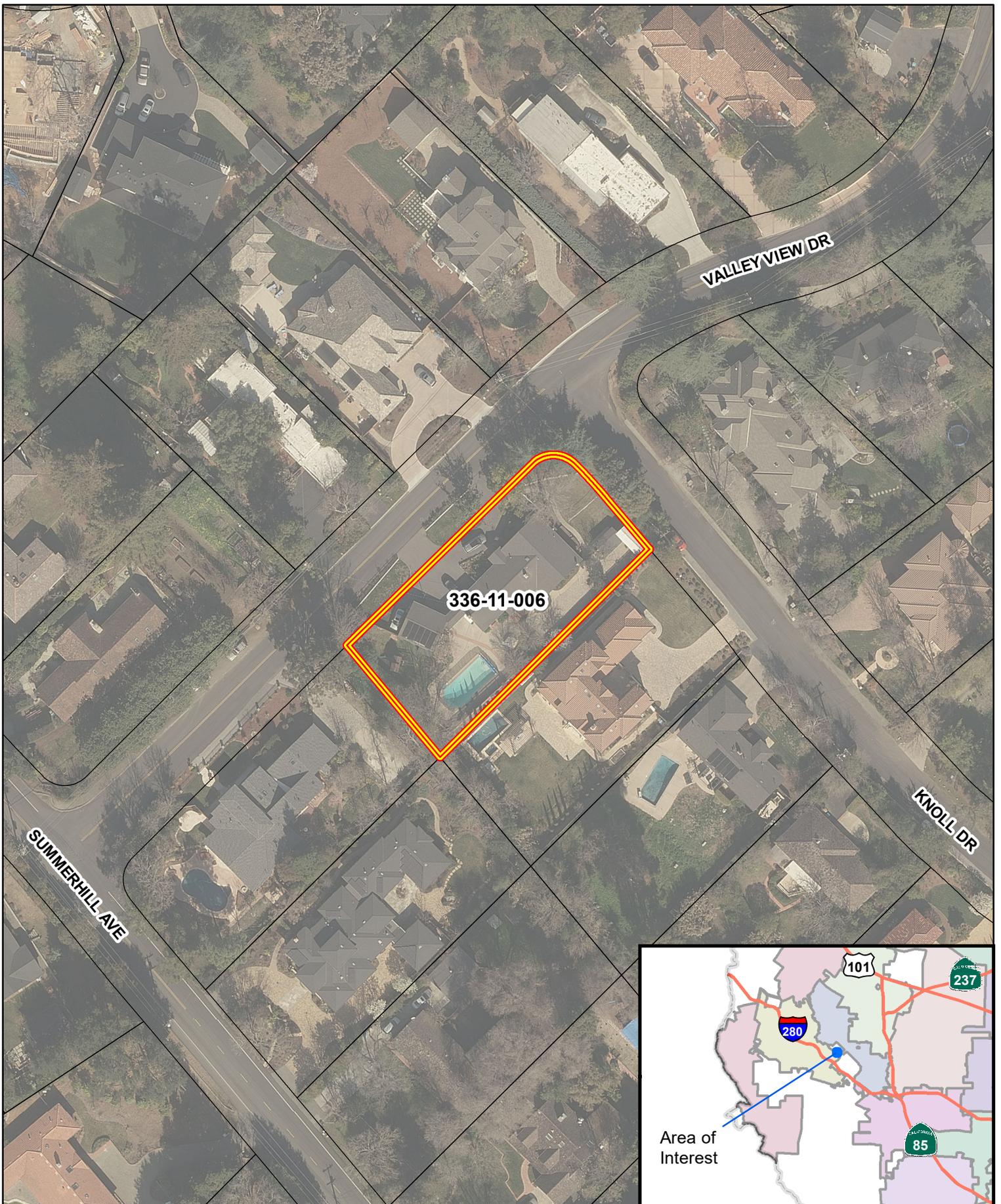
*Storm Water Treatment - SF Bay watershed*

14. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to incorporate as many site design measures as possible into the project. For additional information, please refer to the C.3 Stormwater Handbook (April 2012) available at the following website:

[www.scvurppp.org](http://www.scvurppp.org) > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook (April 2012)

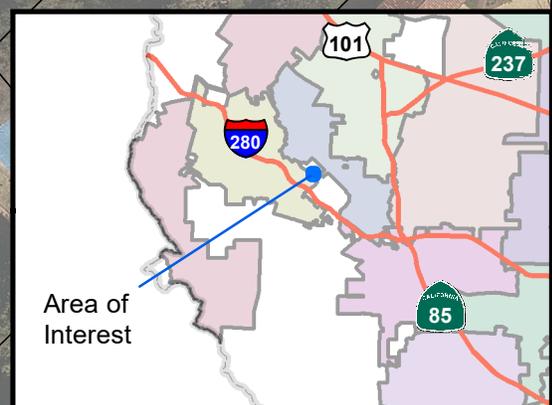
Department of Environmental Health

15. **Prior to building permit issuance**, provide a sewer connection permit/project clearance from the City of Los Altos Sanitary District.
16. **Prior to building permit issuance**, provide a water service connection letter from the water purveyor.



File: 11306-18SP  
APN: 336-11-006  
420 Valley View Drive, Los Altos

Vicinity Map  
ATTACHMENT C



This map created by the Santa Clara County Planning Office. The GIS data was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.  
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**PLUMBING FIXTURE NOTES**

VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8, SHALL BE PROVIDED TO THE COUNTY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THE PERMIT.

MAXIMUM ALLOWED REDUCED FLOW RATES FOR EXISTING TO REMAIN PLUMBING FIXTURES REQUIRED TO COMPLY AS FOLLOWS:

- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR URINALS
- 2.5 gpm FOR SHOWERHEAD
- 2.2 gpm FOR ANY INTERIOR FAUCETS

THIS REDUCED FLOW RATES APPLY TO EXISTING PLUMBING FIXTURE ONLY. ALL NEW PLUMBING FIXTURES MUST COMPLY WITH THE REDUCED FLOW RATES AS CURRENTLY SPECIFIED ON SHEET A2 OF THE PLANS.

**GRADING & DRAINAGE NOTES**

EXISTING DRAINAGE PATTERN TO REMAIN. DIRECT FLOW FROM NEW ADDITION INTO LANDSCAPED AREAS

NO GRADING REQUIRED EXCEPT FOR FOUNDATION / CRAWLSPACE EXCAVATIONS & FINISH SHAPING FOR PROPER DRAINAGE

FINAL GRADES TO SLOPE 5% FOR 10' FROM STRUCTURES

DOWNSPOUTS FLOW TO DISCHARGE ACROSS FLASHBLOCKS INTO LANDSCAPED AREAS

WATER SHALL NOT BE ALLOWED TO POND ADJACENT TO FOUNDATIONS

**CONSTRUCTION-PHASE STORMWATER MANAGEMENT**

CONTRACTOR TO INSTALL STRAW WADDLES AROUND WORK AREA (AS SHOWN ON SITE PLAN)

CONTRACTOR SHALL BE RESPONSIBLE THAT NO MUD OR MUDDY WATER LEAVES THE PROPERTY

ALL EROSION CONTROL MEASURE SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION

SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.

ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL. PLASTIC SHEETS, SUITABLY ANCHORED.

THE SITE SHALL BE MONITORED BY THE CONTRACTOR/OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURE ARE FUNCTIONING.

**DRAWING INDEX**

ARCHITECTURAL  
 SHEET A1 SITE PLAN, GENERAL & SITE NOTES, PROJECT DATA, SITE DETAILS  
 SHEET A2 EXISTING & PROPOSED FLOOR PLANS, ROOF PLAN, FLOOR PLAN NOTES, SKYLIGHT DETAIL  
 SHEET A3 MAIN HOUSE ELEVATIONS, SECTION CALIFORNIA GREEN BUILDING MANDATORY NOTES  
 SHEET A4 GARAGE / CABANA EXISTING & PROPOSED FLOOR PLANS, ROOF PLAN, ELEVATIONS, SECTIONS  
 SHEET A5 TITLE 24 CALIFORNIA ENERGY CERTIFICATE CALGREEN CHECKLIST

STRUCTURAL  
 SHEET S-0 COVER SHEET; GENERAL NOTES & SPECS.  
 SHEET S-1 MAIN HOUSE FOUNDATION & FLOOR FRAMING PLAN  
 SHEET S-2 MAIN HOUSE ROOF FRAMING PLAN  
 SHEET S-3 GARAGE / CABANA FOUNDATION & ROOF FRAMING PLAN  
 SHEET S-4 STRUCTURAL (FRAMING) ELEVATIONS  
 SHEET SD-1 FOUNDATION SECTIONS & DETAILS  
 SHEET SD-2 ROOF FRAMING SECTIONS & DETAILS  
 SHEET SD-3 SHEAR WALL SCHEDULE, SECTIONS, & DETAILS  
 SHEET SD-4 TYPICAL SECTIONS & DETAILS

**GENERAL NOTES**

The contractor shall furnish all material, labor, scaffolding, utensils, and apparatus required for the work shown on these plans and pay for the full freightage cartage, taxes, and handling of material associated with the work.

All work shall comply and conform to all codes and regulations, including the 2016 CBC, CMC, CPC, CEC, CRC, & CAL Green, & 2016 California Energy requirements, and all local, state and federal requirements, codes and regulations, unless otherwise noted.

Contractor shall be solely responsible for job and worksite safety.

All work is to be performed in accordance with these plans and specifications and to the satisfaction of the owner.

Bidders shall visit the site and familiarize themselves with all existing conditions, and be prepared to carry out the work within the existing limitations.

Change orders shall be in writing.

Verify all dimensions in the field, written dimensions have precedence over scaled dimensions. Any discrepancies between drawings and/or specifications and actual conditions shall be brought to the attention of the architect for immediate clarification prior to proceeding with the work.

Substitutions will be considered, but do not substitute materials, equipment, or methods without specific advanced approval by the architect.

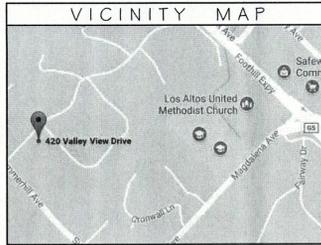
Contractor shall notify the architect of all modifications to drawing by the building department and of all changes requested by the inspector.

Follow manufacturer's instructions carefully. Manufacturer's operating instructions and guarantees shall be given to the owner at the end of the job.

All features of construction not fully shown shall be of the same type and character as that shown for similar conditions. For special conditions or discrepancies, notify the architect before bidding or proceeding with work.

All material shall be of the best of their respective kinds, new, and subject to the approval of the owner. All work is to be performed in the best manner by skilled workmen.

It is the responsibility of the contractor & sub-contractors to notify the architect and/or engineer of any discrepancies, inconsistencies, errors or omissions in the plans & specifications which might affect the work, prior to proceeding with the work.



**PROJECT DATA**

PROJECT DESCRIPTION:  
 - MAIN HOUSE; REMODEL & ADDITION OF (E) 1-STORY HOUSE TO A 2-STORY  
 - DEMOLISH (E) DETACHED GARAGE & BUILD A (N) ONE

ADDRESS: 420 VALLEY VIEW DR, SANTA CLARA CO.  
 APN 336-11-006

OWNERS: DEV & SHITAL PATEL

LOT SIZE: ± 18,430 SQ. FT. (= 0.42 ACRE)  
 MAX. F.A.R. = 3,500 ± (0.1) (18,430 - 10,000) = 4,343 SQ. FT.

MAIN HOUSE FLOOR AREA	EXISTING	ADDITION	TOTAL
1ST FLR	2,468 ±	586	3,054

ACCESSORY BUILDING FLOOR AREA  
 CABANA 544 ± (CONVERTED FROM (E) DET. GARAGE)  
 (N) DET. GARAGE 625  
 SHED 98  
 TOTAL 1267

AVERAGE SLOPE OF DEVELOPMENT AREA:  
 LESS THAN 10 %

REAR YARD ENCROACHMENT COVERAGE:  
 415.5 / 2,375 = 17.5 %

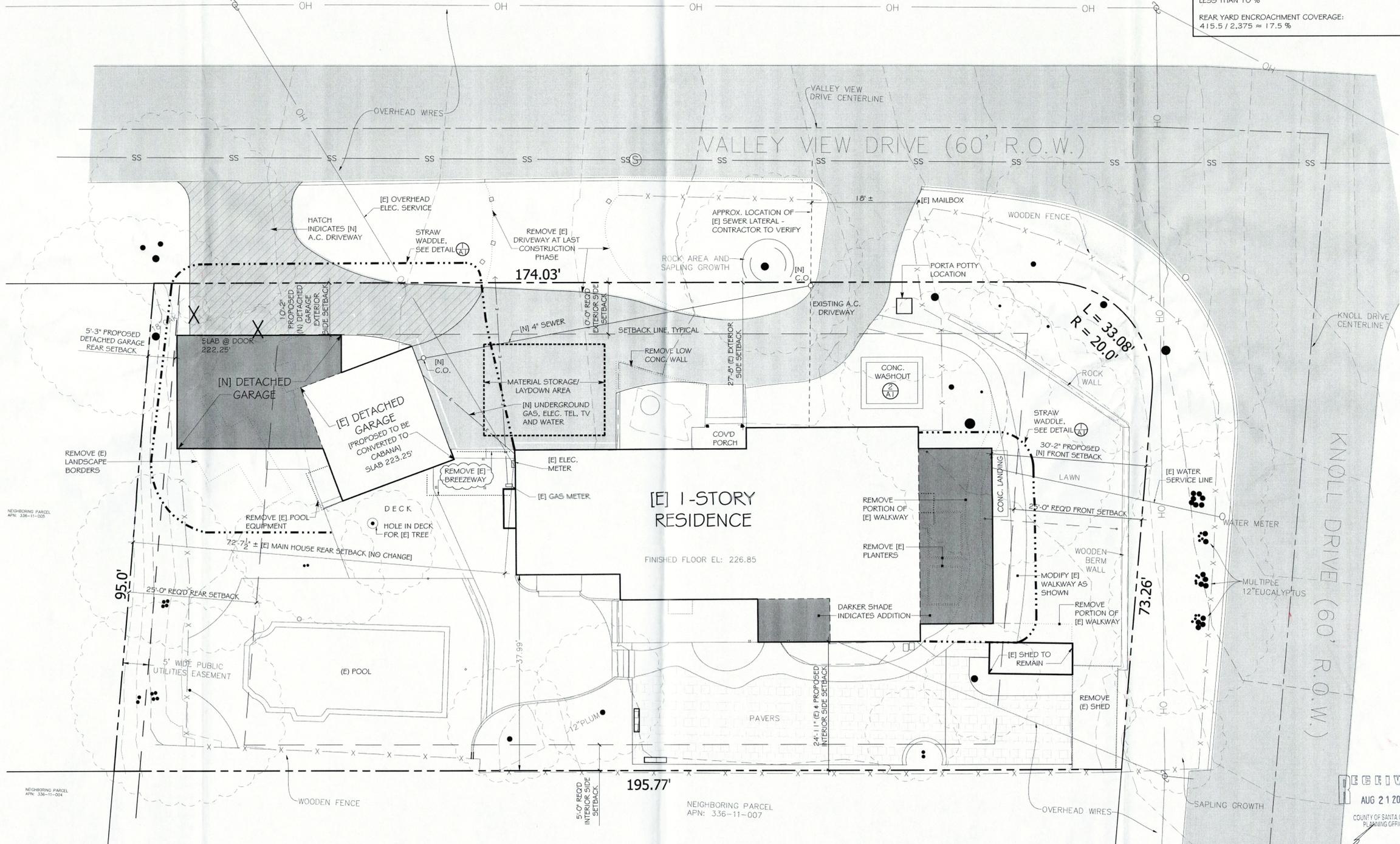
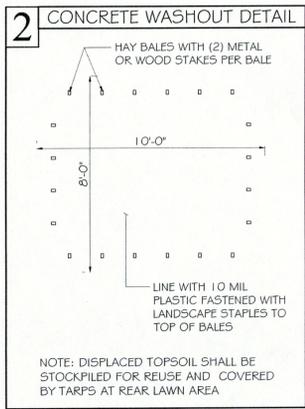
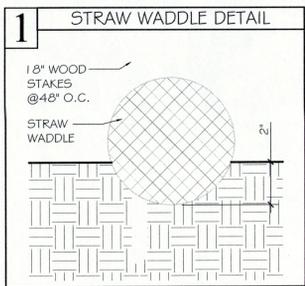
DRAWINGS PREPARED BY

**CHRIS SPAULDING**  
 ARCHITECT

801 CAMELIA STREET SUITE E  
 BERKELEY CALIFORNIA 94710  
 (510) 527-5997 FAX (510) 527-5999

**EROSION & SEDIMENT CONTROL NOTES**

- "THE OWNER, CONTRACTOR, AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT OF WAY THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS INTO THE SANTA CLARA COUNTY ROAD RIGHT OF WAY, STORM SEWER WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:  
 A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.  
 B. PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY, AND  
 C. PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY."
- "THE OWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT OF WAY."



**REVISIONS**

REVISIONS	BY
7-17-18	
8-14-18	

**PRELIMINARY SET**

DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	✓
CONSTRUCTION SET	

**PROPOSED REMODEL & ADDITION FOR PATEL RESIDENCE**  
 420 VALLEY VIEW DR  
 SANTA CLARA CO. CALIFORNIA

DATE:	6-19-18
SCALE:	AS NOTED
DRAWN:	CS/DB/K/D
JOB:	PATEL
SHEET	

**SITE PLAN**  
 DRAWN ON SURVEY BY ALPHA LAND SURVEYS, INC., DATED 6-19-17, JOB# 2017-063. ALPHA LAND PHONE# (831) 438-4453

1" = 10'-0" **MASTER FILE COPY** **A1** SHEETS  
 FILE # 11306-18 CP (R)



**STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION**

- Refer to construction-phase drainage notes on the site plan

**GRADING AND PAVING - DRAINAGE CONTROL**

- Refer to grading and paving notes on the site plan

**ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION**

- Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

- The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

**WATER EFFICIENCY AND CONSERVATION**

**Indoor Water Use**

- Max fixture flow rates:
  - Toilets: 1.28 gallons per flush
  - Single shower head: 2.0 gpm at 80 psi (note: when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time)

- Lavatory faucets: 1.2 gpm at 60 psi
- Kitchen faucets: 1.8 gpm at 60 psi
- All plumbing fixtures and fittings shall meet the standards referenced in Table 1701.1 of the 2016 California Plumbing Code.

**Outdoor Water Use**

- Irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
  - Local water efficient landscape ordinance or the current CA Dept. of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, OR
  - Projects with aggregate landscape area less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option, CGBC Section 4.304

**MATERIAL CONSERVATION AND RESOURCE EFFICIENCY**

**Enhanced Durability and Reduced Maintenance**

- Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

**Construction Waste Reduction, Disposal and Recycling**

- Contractor to provide a Construction Waste Management Plan (CWMP) to the enforcing agency for approval prior to permit issuance. 65% minimum of the non-hazardous construction and demolition waste shall be recycled or salvaged (or meet more stringent local requirements). The plan shall include the following:

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk-mixed (single stream).
- Identify diversion facilities where the waste material will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

Documentation shall be provided, prior to the first inspection, confirming compliance to the waste management plan provided to the enforcing agency.

**Life Cycle Assessment**

At final inspection, a manual, compact disc, web-based reference, or other acceptable media including items 1-30 shall be placed in the building.

- Directions to the owner or occupant that the manual shall remain in the building throughout the life cycle of the structure
- Operation and maintenance instructions for the following:
  - Equipment and appliances, including HVAC systems water-saving devices and water heaters.
  - Roof and yard drainage, including gutters and downspouts.
  - Space conditioning systems, including condensers and air filters
  - Landscaping irrigation systems
  - Water re-use systems
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5' away from the foundations
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency of this code.

**ENVIRONMENTAL QUALITY**

**Pollution Control**

- At the Time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency.

**Fireplaces**

- Any installed gas fireplace shall be a direct-vent sealed-combustion type Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. Section 4.503.

**Finish Material Pollution Control**

- Adhesives, sealants, caulks, paints, coatings and aerosol paints shall meet the VOC limits specified in the tables at left, unless more stringent local or regional air pollution or air quality or management district rules apply.

- All adhesives, sealants, caulks, paints, coatings and aerosol paint containers must remain on the site for field verification by the building inspector.

- Prior to final inspection, a letter signed by the general contractor or the owner/builder (for any owner/builder projects) must be provided to the enforcing agency certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, carpet systems (including carpeting, cushion and adhesives), resilient flooring systems and composite wood products installed on this project are within the emission limits specified in CGBC Section 4.504.

**Carpet Systems**

- Carpet system installed in the building interior will meet the testing and product requirements found in the 2016 California Green Building Code

**Resilient Flooring Systems**

- Where resilient flooring is installed, at least 90% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements.

**Composite Wood Products**

- Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on the interior and exterior of the building will comply with the low formaldehyde emission standards

**Interior Moisture Control**

- Concrete slab foundations to have vapor barrier over 4" minimum clean aggregate base.

- Prior to encasing the wall & floor framing, confirmation must be provided to the building inspector showing that the framing members do not exceed 19% moisture content.

**Indoor Air Quality & Exhaust**

- Bathroom exhaust fans must be Energy Star compliant, must be ducted to terminate outside the building, and must be controlled by a humidistat which shall be readily accessible.

**Environmental Comfort**

- Heating & Air conditioning systems shall be designed in accordance with the requirements of CGBC section 4.507.2

**Installer Special Inspector Qualification**

- HVAC system installer will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certified program

**Verification**

- Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2016 Code requirements.

**TABLE 4.504.1**

**ADHESIVE VOC LIMIT<sup>1,2</sup>**

**Less Water and Less Exempt Compounds in Grams per Liter**

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	150
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
<b>SPECIALTY APPLICATIONS</b>	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
<b>SUBSTRATE SPECIFIC APPLICATIONS</b>	
Metal to metal	30
Plastic foams	50
Ferrous material (except wood)	30
Wood	30
Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

**TABLE 4.504.2**

**SEALANT VOC LIMIT**

**Less Water and Less Exempt Compounds in Grams per Liter**

SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
<b>SEALANT PRIMERS</b>	
Architectural	250
Nonporous	775
Modified bituminous	500
Marine deck	760
Other	750

**TABLE 4.504.3**

**VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS<sup>1,2</sup>**

**Grams of VOC per Liter of Coatings, Less Water and Less Exempt Compounds**

COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
<b>SPECIALTY COATINGS</b>	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Boat sealers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings <sup>3</sup>	120
Magnetic cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoats	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	730
Clear	550
Opaque	550
Specialty primers, sealers and undercoats	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinishing coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

- Grams of VOC per liter of coating, including water and including exempt compounds.
- The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

**TABLE 4.504.5**

**FORMALDEHYDE LIMITS<sup>1</sup>**

**Maximum Formaldehyde Emissions in Parts per Million**

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
This medium density fiberboard <sup>2</sup>	0.13

- Values in this table are derived from those specified by the California Air Resources Board, Air Toxic Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
- This medium density fiberboard has a maximum thickness of 3/4" (19 mm).

**ROOF VENTING:**

595 SQ.FT. / 300 = 2 ± SQ. FT. REQ. INSTALL (2) 0.5 SQ.FT. EYEBROW VENTS WITH REMANINDER PROVIDED BY EAVE VENTING PER SECTIONS NOTES BELOW & PER DETAIL 1 / A.S. EYEBROW VENTS SHALL BE INSTALLED NEAR RIDGE LINES AND MIN. 3' VERTICALLY ABOVE EAVE VENTS.

**CRAWLSPACE VENTING:**

595 SQ.FT. / 150 = 3.9 ± SQ.FT. REQUIRED. INSTALL (2) 9/16" x 14 1/2" GSM-SCREENED VENTS, PLUS RELOCATE ANY (E) VENT COVERED BY ADDITION. PLACE (N) VENTS FOR CROSS VENTILATION & WITH A VENT WITHIN 3' OF CORNERS.



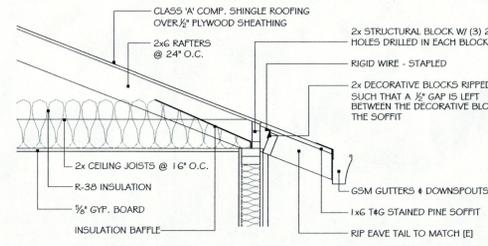
**NORTHWEST (VALLEY VIEW DR) ELEVATION**

1/4" = 1'-0"



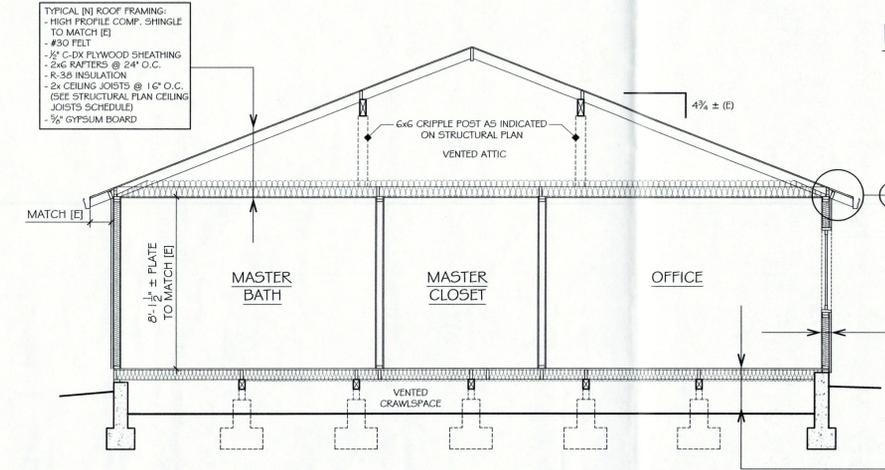
**SOUTHEAST ELEVATION**

1/4" = 1'-0"



**1 TYPICAL EAVE**  
No Scale

NOTE: VENT HOLES SHALL BE CONCEALED BY DECORATIVE BLOCKS



**SECTION A-A**

1/4" = 1'-0"



**NORTHEAST ELEVATION**

1/4" = 1'-0"

**Santa Clara County REBUILD Determination and Points Allocation**

A. Existing Residence						
	Existing L.F.	Replaced/ Modified L.F.	Ratio	Maximum Points	Resulting Points	
1 Foundation - Perimeter	239	20	0.084	25	2.09	
2 Slab	N/A					
3 Walls - All walls in linear feet	527	146	0.277	50	13.85	
4 Roof	2605	289	0.111	25	2.77	
Existing Residence Sub-total						18.72
B. Proposed Additions						
	Area in S.F.		Ratio 1 pt/ 40 S.F.		Sub-Total Points	
	585		14.625		14.625	
<b>TOTAL POINT ALLOCATION</b>						33.34

DRAWINGS PREPARED BY  
**CHRIS SPAULDING**  
ARCHITECT  
801 CAMELIA STREET SUITE E  
BERKELEY CALIFORNIA 94710  
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
7-17-18	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED REMODEL & ADDITION FOR  
**PATEL RESIDENCE**  
420 VALLEY VIEW DR  
SANTA CLARA CO. CALIFORNIA

DATE: 6-19-18  
SCALE: AS NOTED  
DRAWN: CS/DB/KD  
JOB: PATEL  
SHEET

**A3**  
OF 15 SHEETS

CAL GREEN NOTES

DRAWINGS PREPARED BY  
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 ARCHITECT

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REVISIONS	BY
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PRELIMINARY SET	
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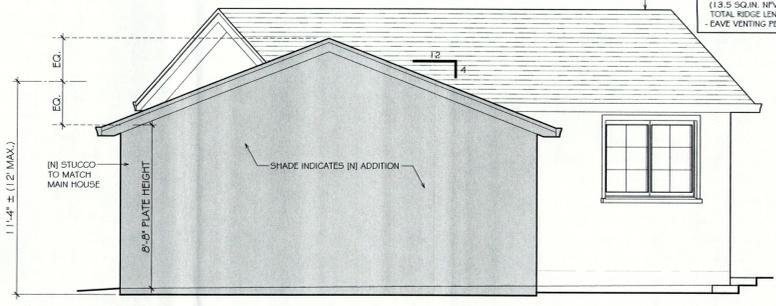
PROPOSED REMODEL & ADDITION FOR  
**PATEL RESIDENCE**  
 420 VALLEY VIEW DR  
 SANTA CLARA CO. CALIFORNIA

DATE: 6-19-18  
 SCALE: AS NOTED  
 DRAWN: CS/DE/KD  
 JOB: PATEL  
 SHEET

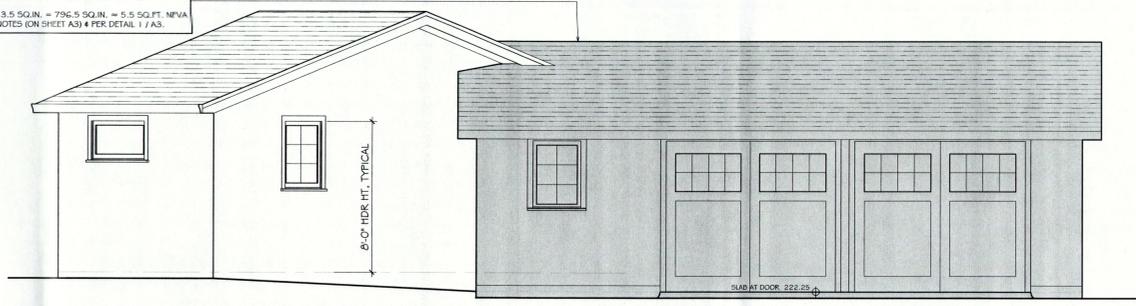
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 SHEET

**A4**  
 OF 15 SHEETS

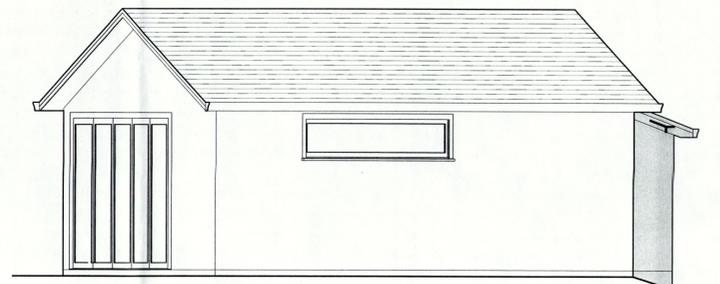
ROOF / ATTIC VENTING:  
 1,169 SQ. FT. / 300 = 3.9 ± SQ. FT. REQD. INSTALL:  
 \*COR-A-VENT CONTINUOUS RIDGE VENT PER MANUFACTURER'S SPECS.  
 (13.5 SQ. IN. NVA / LIN. FT.)  
 TOTAL RIDGE LENGTH ± 29' x 13.5 SQ. IN. = 796.5 SQ. IN. = 5.5 SQ. FT. NVA  
 \*AVE VENTING PER SECTION NOTES (ON SHEET A3) & PER DETAIL 1 / A3.



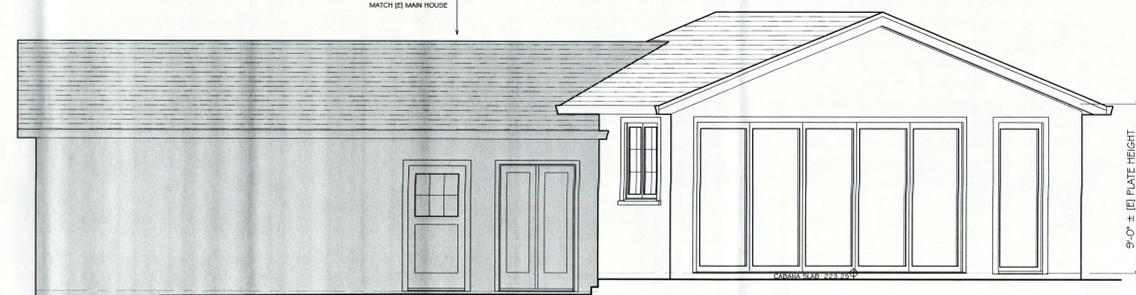
SOUTHWEST ELEVATION 1/4" = 1'-0"



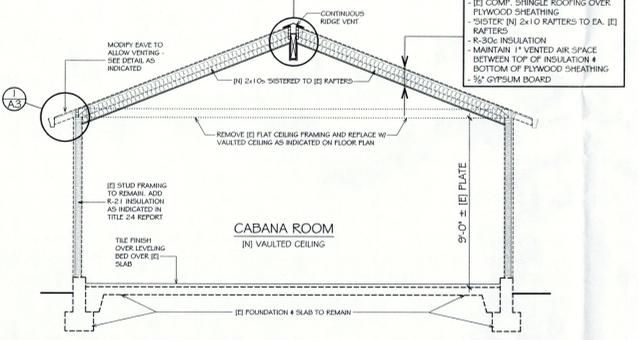
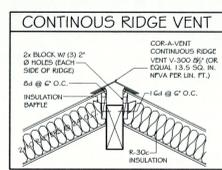
NORTHWEST ELEVATION 1/4" = 1'-0"



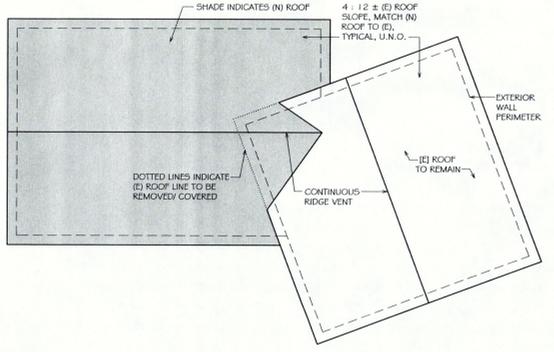
NORTHEAST ELEVATION 1/4" = 1'-0"



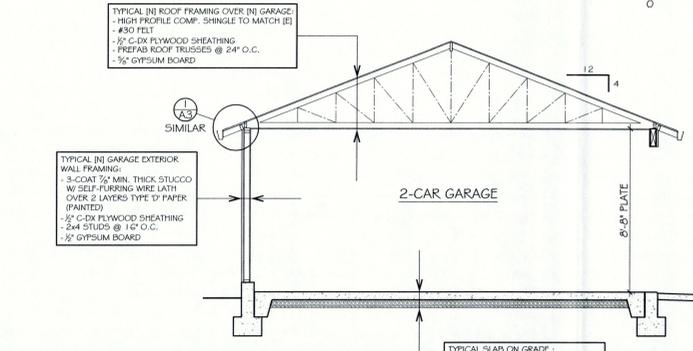
SOUTHEAST ELEVATION 1/4" = 1'-0"



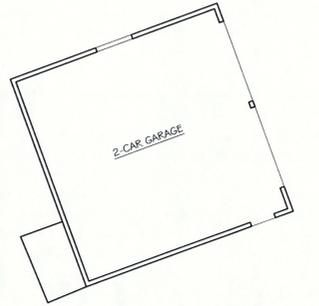
SECTION C-C 1/4" = 1'-0"



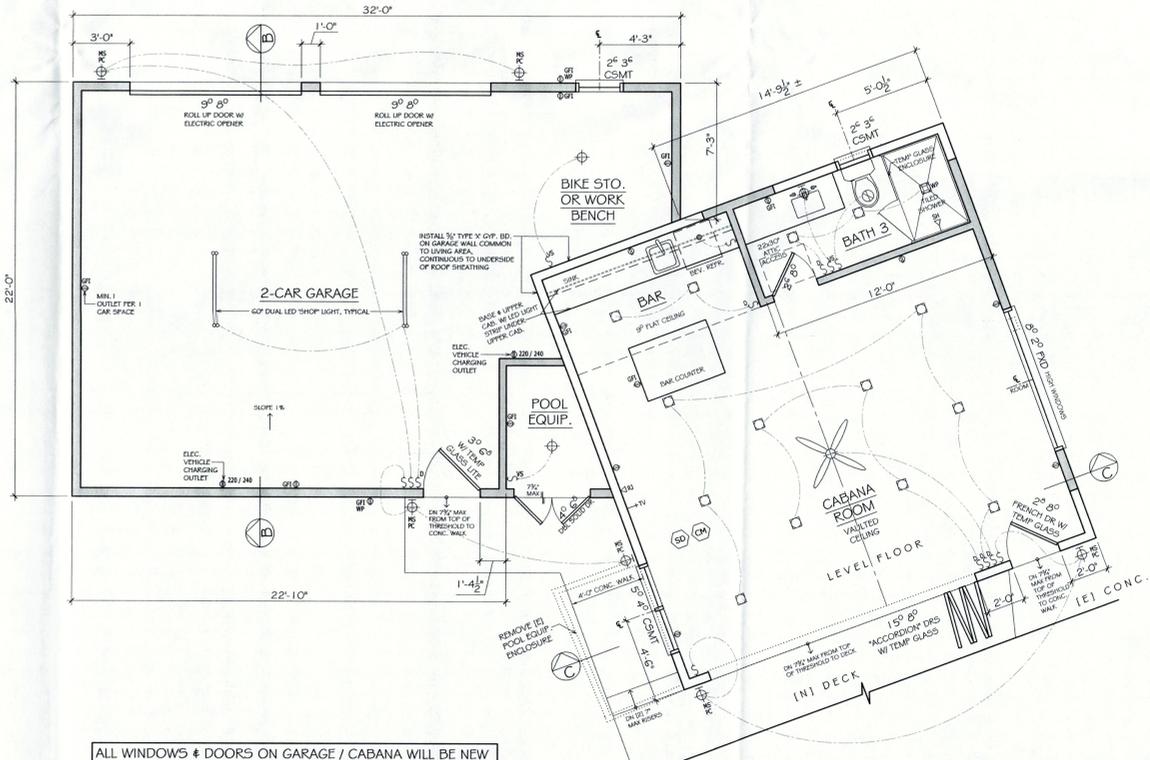
ROOF PLAN 1/8" = 1'-0"



SECTION B-B 1/4" = 1'-0"



EXISTING GARAGE FLOOR PLAN 1/8" = 1'-0"



ALL WINDOWS & DOORS ON GARAGE / CABANA WILL BE NEW

PROPOSED GARAGE / CABANA FLOOR PLAN 1/4" = 1'-0"

INDICATES EXISTING WALL TO BE REMOVED  
 INDICATES EXISTING WALL TO REMAIN  
 INDICATES NEW CONSTRUCTION