

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT
Zoning Administration
October 4, 2018
Item #2

Staff Contact: Lara Tran
(408) 299-5759/ lara.tran@pln.sccgov.org

File: 11313 - 18SP

Special Permit for two (2) detached accessory buildings (pool cabaña and art studio) containing more than two internal plumbing fixtures.

Summary: Special Permit to allow more than two plumbing fixtures (seven (7) fixtures proposed) in a 497 sq. ft. pool house pursuant to § 4.20.020(I).

Owner: Shahriar Rabii and Helen Roeber
Applicant: Shahriar Rabii and Helen Roeber
Lot Size: 0.7 acres
APN: 336-13-056
Supervisory District: #5

Gen. Plan Designation: USA (Los Altos)
Zoning: R1E-20-n1
Address: 24600 Ruth Lee Court
Present Land Use: Single Family Res.
Approved Building Site: Yes

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, under Section 15303(e) of the CEQA Guidelines, Attachment A
- B. Grant Special Permit Approval, subject to conditions outlined in Attachment B

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination
Attachment B – Proposed Conditions of Approval
Attachment C – Location & Vicinity Map
Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes construction of a 497 square foot accessory structure, with an 817 square-foot covered patio, and seven (7) plumbing fixtures. The accessory structure is proposed to be used as a pool cabaña with an adjacent art studio on the main floor, and a 520 square foot exercise room and steam room in the basement. The building has a maximum height of 14 feet. The structure includes two (2) half baths and an open lounge area. Proposed grading quantities include 95 cubic yards of fill and 30 cubic yards of cut for the pool cabaña perimeter grading. The location of the pool cabaña is in the rear yard (northern portion of the lot), adjacent to a proposed pool, approximately 10 feet from the side property lines and 22 feet from the rear property line.

The lot is a 0.7-acre parcel on the northeast side of Ruth Lee Court, and the west side of Quinhill Road, in the unincorporated area of Santa Clara County. Associated site improvements include landscaping, an outdoor shower, and storage space for pool equipment. A proposed pool will be built with a separate building permit.

Setting/Location Information

The subject property is located in the northern portion of the unincorporated area of Santa Clara County, within the Urban Service Area of the City of Los Altos, east of Highway 280, between Ruth Lee Court and Quinhill Road. The property is located on a cul-de-sac with seven (7) properties taking access from Ruth Lee Court. The property has an upward slope from Ruth Lee Court with an average slope of 13%. The neighborhood character consists of a mix of homes built in the 1950s and modern homes recently built from a subdivision in 2013, ranging from 2,000 – 5,000 square feet.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption, Section 15303 (Class 3e) for accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences in a residential zone.

B. Project/Proposal

1. **General Plan:** Urban Service Area (USA) – Los Altos.
2. **Approved Building Site:** Yes. – Parcel 2 of Parcel Map Book 873.
3. **Zoning Standards.** The proposed project satisfies the required development standards for accessory structures, as summarized below:

Setbacks (R1E):	Located in rear half of lot, within the rear yard, or at least 75-feet from the front property line.
Maximum Height:	12-foot average (between ridge and top plate with hip or gable roof with a maximum of 16 ft.)
Stories:	1 story

4. **Compliance with Development Standards (Accessory Structures) and Specific Findings (Restrictions on Plumbing Fixtures).**

The proposed pool cabaña and art studio has a height of 14 feet, which is within 16 ft. maximum height for accessory structures. The location of the pool cabaña conforms to the development standards stipulated for accessory structures (located in the rear yard of the property or at least 75 ft. from the front property line). Additionally, the pool cabaña and adjacent art studio are not designed to be used for dwelling purposes or overnight accommodations. The proposed floorplan of the pool house includes two half baths and an open lounge/patio area. There is no partitioning inside the pool house that would contribute to utilizing the structure for dwelling purposes. The proposed accessory building is approximately 497 sq. ft. in size, with an 817 sq. ft. unenclosed covered lounge and patio area. As such, the pool cabaña and art studio are appropriately sized and designed for the intended use and comply with the specific findings for “Restrictions on Plumbing Fixtures,” pursuant to Section 4.20.020(I)(2).

5. **Special Permit:**

In addition to specific findings identified in Section 4 above, accessory structures (such as a pool house) with more than two (2) internal plumbing fixtures are also subject to a Special Permit (Chapter 5.60). In the following discussion, the scope of review findings for a Special Permit are delineated in **bold** type, and an explanation of how the project meets the required findings is in plain text below. The Zoning Administrator is required to make these findings to approve the project.

A. The proposed use conforms with the general plan, with the zoning ordinance, and with all standards applicable to the proposed use that have been adopted by the Planning Commission or Board of Supervisors;

As discussed in Section 4 of this report, the project conforms to all standards stipulated in County General Plan and Zoning Ordinance. The proposed pool cabaña and art studio has a height of 14 feet, which is within the 16 ft. maximum height allowance for accessory structures. The location of the pool cabaña and art studio conforms to the development standards stipulated for accessory structures as it is in the rear yard of the property or at least 75 ft. from the front property line.

The location of property is within the -n1 (Los Altos) combined zoning district which has a floor area limitation. Per County Zoning Ordinance Section 3.40.030(2)(c), floor area would include cumulative area of accessory structures over 500 s.f. The project proposes a pool cabaña with an adjacent art studio on the main floor, and an exercise room and steam room in the basement. As square footage is excluded for areas below grade, that qualify as a “basement” by the Zoning Ordinance, the proposed basement exercise room and steam room does not count towards square footage. The total square footage for the accessory structures is 497 square feet, which is less than the cumulative floor area allowance for accessory structures, and therefore, would not count towards the

overall floor area of the entire property. Staff reviewed the floor area calculations submitted and signed by Ana Williamson Architect to confirm the project will not exceed the allowable floor area of 5,476 square feet, or 18% of the 29,764 square foot lot.

- B. The site is adequate for the proposed use, including but not limited to being of adequate size and shape to accommodate all facilities and development features to integrate the use into the surrounding area and to provide any necessary or appropriate buffers between the use and the surrounding area;**

The site is adequate to accommodate the proposed pool cabaña and art studio. The subject site is approximately 0.7 acres, and the proposed pool cabaña and art studio satisfies the required setbacks for a residential accessory structure (rear yard or at least 75 feet from front property line). As a recreational residential non-living unit, the site is adequate for the use of the pool cabaña with lounge area and art studio. As such, the area of the property and the location of the proposed structure offers adequate separation and provides a buffer between the proposed use and the surrounding uses and/or neighborhood.

- C. The proposed use will not be detrimental to the public health, safety, or general welfare. In this respect the zoning administrator shall further find, without limitation, that:**

- 1. Adequate off-street parking, loading and unloading areas (if applicable) and handicapped access will be provided;**

The property has ample space for off-street parking with an existing attached garage able to accommodate the required minimum one (1) covered parking space per County Zoning Ordinance Section 4.30.030.

- 2. Appropriately designed site access will be provided, including safe and adequate access for fire and emergency vehicles (including secondary access where deemed necessary by the fire marshal);**

As an accessory structure, not proposed for dwelling purposes, no additional driveway access is required. Fire sprinklers will be installed for the pool cabaña and art studio as indicated on the submitted plans dated July 20, 2018.

- 3. The use will not adversely affect water quality. Adequate wastewater treatment, disposal and sanitation facilities will be provided and will satisfy all applicable local, state and federal requirements;**

The property is an urban lot and has sewer service with the City of Los Altos. The proposed structure would be connected to City services.

4. **The use will not be detrimental to the adjacent area because of excessive noise, odor, dust or bright lights;**

The installation of more than two (2) plumbing fixtures would not create noise, odor, dust or excessive light impacts. Furthermore, residential and accessory uses shall be subject to the County Noise Ordinance.

5. **The use will not substantially worsen traffic congestion affecting the surrounding area;**

Not applicable.

6. **Erosion will be adequately controlled; and**

Standard conditions and BMP's will be required through building permit review.

7. **Adequate storm drainage management exists or will be provided and will comply with all applicable local, state and federal requirements.**

Special Permit is only for the pool cabaña and art studio with more than two (2) plumbing fixtures. The plans show new proposed pedestrian walkways and landscaping. The Special Permit by itself would not trigger the requirement of a Drainage Permit. However, LDE is reviewing the entire site plan which proposes new impervious pedestrian walkways that exceeds 2,000 s.f. of new impervious surface, triggering the requirement for a Drainage Permit, and possibly a Grading Permit which would be applied for and obtained separately.

BACKGROUND

The property was created through a Parcel Map recorded in September 2013, and as such is an approved building site. The previous owner applied for a demolition permit in 2013 to demolish the previous residence on the property that was over fifty years old. The existing 5,423 square foot residence was built in 2014.

The applicant submitted an application for a Special Permit on June 11, 2018, which was subsequently deemed incomplete on July 6, 2018. On August 17, 2018, Staff deemed the application complete. A public notice was mailed to all property owners within a 300-foot radius on September 25, 2018 and was published in the Post Record on September 20, 2018.

STAFF REPORT REVIEW

Prepared by: Lara Tran, Associate Planner

Reviewed by: Leza Mikhail, Principal Planner/Zoning Administrator



- Attachments:
- 1) Notice of Exemption from CEQA
 - 2) Preliminary Conditions of Approval
 - 3) Location and Vicinity Map
 - 4) Proposed Plans

ATTACHMENT A

Notice of Exemption from CEQA

To: County Clerk-Recorder
County of Santa Clara

Office of Planning & Research
PO Box 3044, Room 222
Sacramento, CA 95812-3044

Project Title	File Number (if applicable)
Special Permit for a pool cabaña at 24600 Ruth Lee Court, Los Altos	11313-18SP
Project Location	
24600 Ruth Lee Court, between Ruth Lee Court and Quinhill Road in unincorporated Los Alto, CA. Zoning R1E-20-n1.	
Public Agency Approving Project	Person or Agency Carrying Out Project
County of Santa Clara	Lara Tran, Associate Planner
Project Description (including purpose and beneficiaries of project)	
Special Permit for a 497 s.f. pool cabaña and art studio with an 817 s.f. covered patio area. The pool cabaña and art studio contain seven (7) plumbing fixtures and a lounge area. Proposed grading quantities include 95 cubic yards of fill and 30 cubic yards of cut for the pool cabaña perimeter grading, excluding the building footprints.	
Exempt Status check one/indicate type of State CEQA Guidelines section number:	
<input checked="" type="checkbox"/> Categorical Exemption [CEQA Guidelines 15301-15333]: <input type="checkbox"/> Statutory Exemption [CEQA Guidelines 15260-15285]: <input type="checkbox"/> Declared Emergency [15269(a)]: <input type="checkbox"/> Emergency Project [15269(b)(c)]: <input type="checkbox"/> General Rule [CEQA Guidelines 15061(b)(3)]:	
Reasons the project is exempt:	
The proposed project qualifies for a Categorical Exemption, Section 15303 (Class 3e) for accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences in a residential zone. No unusual circumstances exist as to constitute significant effects, per subsection 15000.2(c).	
County Contact Person	Title
Lara Tran	Associate Planner
	Telephone Number
	(408) 299-5799

Date: 9/26/18

Signature: 

Name/Title:

Lara Tran/Associate Planner

Approved by: _____



ATTACHMENT B
SPECIAL PERMIT
Preliminary Conditions of Approval

11313 – 18SP

Owner/Applicant: Shahriar Rabii and Helen Roeber
File Number: 11313-18SP
Location: 24600 Ruth Lee Court, Los Altos (APN: 336-13-056)
Project Description: Special Permit for a pool cabaña with three or more plumbing fixtures

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a particular specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Lara Tran	(408) 299- 5759	lara.tran@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299 – 5735	darrell.wong@pln.sccgov.org
Fire Marshall	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Building Inspection		(408) 299-5700	

STANDARD CONDITIONS OF APPROVAL

Planning

1. Development must take place in accordance with the approved plans, prepared by Ana Williamson Architect, submitted on July 20, 2018, and KPROX Civil Engineering, submitted on July 20, 2018.
2. Subject pool house may not be used for dwelling purposes or overnight accommodations.

Environmental Health

3. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction

Building Inspection Office

4. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Office of Building Inspection or visit their website (www.sccbbuilding.org).

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE

Planning

5. **Prior to building permit issuance**, if cumulative accessory structures are over 500 s.f., provide floor area calculations (for all structures on property) signed and stamped by licensed architect, licensed land surveyor, or registered civil engineer.
6. Pursuant to §5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

Land Development Engineering

7. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
8. The building plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
9. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

Drainage

1. **Prior to building permit issuance**, the net increase of impervious area as a part of this project shall be stated on the Building Plans. If the net increase of impervious area exceeds 2,000 s.f, the project will require a drainage permit to be separately obtained from the building permit for pool cabaña and art studio. The drainage permit plans and calculations may be submitted concurrently with the building permit for review.

Utilities

10. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the building plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Storm Water Treatment - SF Bay watershed

11. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to incorporate as many site design measures as possible into the project. For additional information, please refer to the C.3 Stormwater Handbook (April 2012) available at the following website:

www.scvurppp.org > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook (April 2012)

Department of Environmental Health

12. This site is located in a sewered area and therefore a sanitary sewer connection will be required. **Prior to building permit issuance**, submit a sewer connection permit from the City of Los Altos Engineering Department, (650) 947-2780.
13. **Prior to building permit issuance**, provide a water connection letter from the water purveyor, California Water Service Company. Call (650) 917-0152 for information.

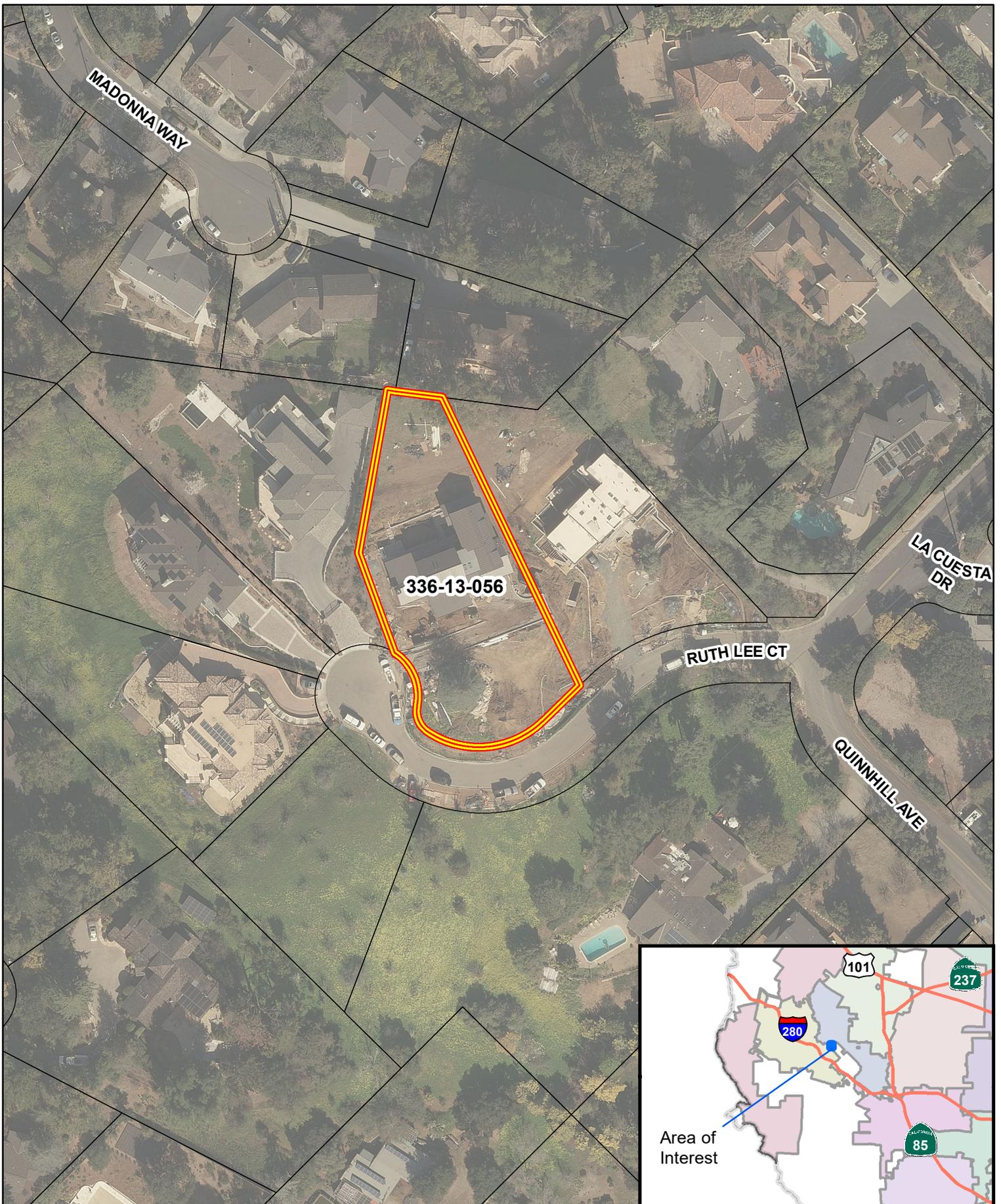
CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Fire Marshall

14. **Prior to occupancy**, an approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure and finalized by this office. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Department of Environmental Health

15. **Prior to occupancy**, provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara county is mandatory.

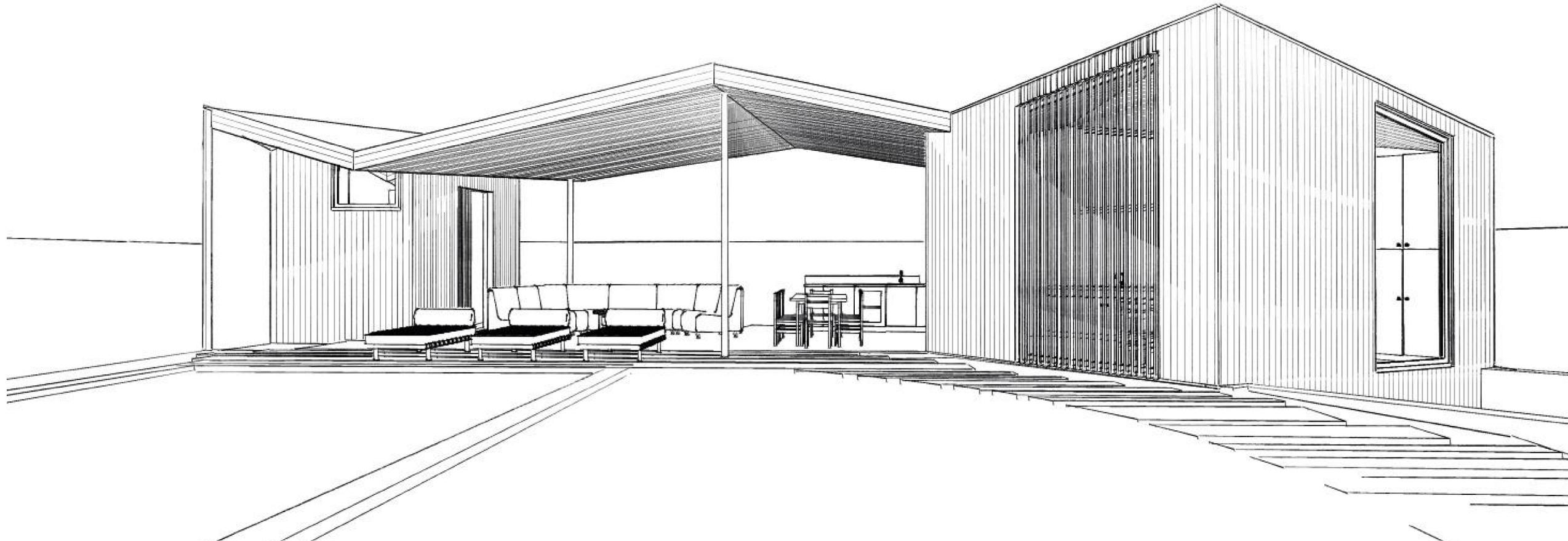


File: 11313-18SP
APN: 336-13-056
24600 Ruth Lee Court, Los Altos

Vicinity Map
Attachment C



This map created by the Santa Clara County Planning Office. The GIS data was compiled from various sources. While deemed reliable, the Planning Office assumes no liability. 8/18/2018 10:29:48 AM Y:\GIS\Reports\11313\11313_vicinity.mxd



RABII-ROEBER POOLHOUSE LOS ALTOS, CA

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- L0.1 LANDSCAPE SITE PLAN
- L0.2 HYDROZONE & WATER EFFICIENT WORKSHEET

- CIVIL
- C0.0 TITLE SHEET
- C1.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C2.0 EROSION CONTROL PLAN
- C3.0 BEST MANAGEMENT PRACTICES
- C3.1 BEST MANAGEMENT PRACTICES

- ARCHITECTURAL
- A1.0 PROPOSED SITE PLAN
- A2.0 PROPOSED BASEMENT PLAN & REAR YARD COVERAGE DIAGRAM
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED ROOF PLAN
- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A4.0 PROPOSED SECTIONS
- A4.1 PROPOSED SECTIONS

PROJECT SUMMARY

SITE INFORMATION			
JOB ADDRESS:	24600 RUTH LEE COURT LOS ALTOS, CA 94024	MAXIMUM HEIGHT:	35'
ASSESSOR'S PARCEL NUMBER:	336-13-056	12' ACC. BLDGS. (16' W/ GABLE ROOF)	N/A'
ZONING DISTRICT:	R1E-20-n1	DAYLIGHT PLANE:	N/A'
PARCEL SIZE:	29,764 SF	SETBACKS:	
OCCUPANCY GROUPS:	R3/U	FRONT	25'
TYPE OF CONSTRUCTION:	V-B	REAR	25'
NUMBER OF STORIES:	2	SIDE	5'
FIRE SPRINKLERS:	YES (DEFERRED SUBMITTAL)	PARKING:	2 PER UNIT (1 COVERED) (8 1/2' x 18')

FLOOR AREA CALCULATIONS

	ALLOWABLE	EXISTING	PROPOSED
MAX. BLDG FLOOR AREA 3500+((29,764-10,000)/10)=	5,476.4 SF		
	5,476.4		
MAIN RES. - FIRST FLOOR		3,525 SF	3,525 SF
MAIN RES. - SECOND FLOOR		1,898	1,898 SF
ACC. BLDG. - CHANGING ROOM		N/A	133 SF
ACC. BLDG. - ART STUDIO		N/A	364 SF
TOTAL BLDG FLOOR AREA*	5,476.4 SF	5,429 SF (E)	5,429 SF*(NEW CONSTRUCTION)
MAX. BLDG HEIGHT	35'	27'-0"	27'-0"
REAR YARD COVERAGE (30%) 0.30*(7,781)=	2,334.3 SF		
	2,334.3 SF		
ACC. BLDGS		N/A	497 SF
COVERED AREA		N/A	817 SF
TOTAL REAR YARD COVERAGE	2,334.3 SF		1,314 SF

* <500 SF ACCESSORY BUILDING DOES NOT COUNT TOWARDS FLOOR AREA (LOS ALTOS MUNI. CODE 3.40.030 A.2.C)

PROJECT DESCRIPTION

CONSTRUCTION OF (N) ART STUDIO WITH BASEMENT, EXERCISE ROOM, POWDER ROOM, STEAM SHOWER AND ATTACHED COVERED PATIO WITH POOL CHANGING ROOM AND OUTDOOR KITCHEN.

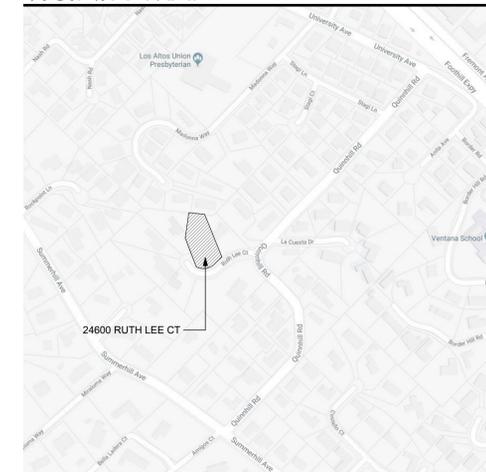
CONSTRUCTION OF (N) POOL WITH ASSOCIATED LANDSCAPING, SITE WORK, AND INFRASTRUCTURE.

(N) ROOFTOP PV SOLAR SYSTEM AND POOL HEATER

CONTACTS

CLIENT:	SHAHRIAR RABII & HELENA ROEBER 24600 RUTH LEE CT LOS ALTOS, CA, 94024
ARCHITECT:	ANA WILLIAMSON ARCHITECT 885 SANTA CRUZ AVE MENLO PARK, CA 94025 T: (650) 329-0577 F: (650) 325-4781 W: awarchitect.com
STRUCTURAL ENGINEER:	XXXX XXXX T: XXXX W: XXXX
CIVIL ENGINEER:	KPROX CIVIL ENGINEERING 555 BRYANT STREET, SUITE 368 PALO ALTO, CA 94301 T: (650) 549-4249 W: krprox.com
TITLE 24/ GREENPOINT RATER:	XXXX XXXX XXXX T: XXXX
SURVEYOR:	QUIET RIVER LAND SERVICES INC 6747 SIERRA COURT, SUITE K DUBLIN, CA 94568 T: (925) 734-6788
CONTRACTOR:	XXX XXX XXX T: XXX W: XXX
GEOTECHNICAL ENGINEER:	MURRAY ENGINEERS, INC. 935 FREMONT AVE LOS ALTOS, CA 94024 T: (650) 559-9980 W: murrayengineers.com

VICINITY MAP



DEFERRED SUBMITTALS

RESIDENTIAL FIRE SPRINKLERS PERMIT



RABII-ROEBER POOLHOUSE
24600 RUTH LEE COURT
LOS ALTOS, CA 94024
APN: 336-13056

ISSUE:	DATE:
SPECIAL PERMIT	06/08/2018
SPECIAL PERMIT R1	07/18/2018

DRAWN: JG
DATE: 7/18/2018

JOB NO: 1712

DRAWING TITLE: COVER SHEET

SHEET: A0.0

LEGEND

- SUBJECT PROPERTY LINE
- - - ADJOINER PROPERTY LINE
- x-x- EXISTING FENCE LINE
- x 370.0 SPOT ELEVATION
- ☼ 2" TREE (UNLESS OTHERWISE NOTED)

NOTES

- 1.) THIS MAP IS NOT A PROPERTY BOUNDARY SURVEY, THIS IS TOPOGRAPHY MAP. NO PROPERTY CORNER MONUMENTS WERE SET FOR THIS PROJECT.
- 2.) NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE, CONSEQUENTLY EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- 3.) DATE OF FIELD SURVEY: SEPTEMBER 6, 2017
- 4.) PROJECT BENCHMARK: CUT "X" IN THE SOUTHEAST CORNER OF EXISTING CONCRETE DRIVEWAY THAT RUNS FROM RUTH LEE COURT TO EXISTING RESIDENCE, ELEVATION=361.35±
- 5.) CONTOURS SHOWN HEREON ARE ONE FOOT INTERVAL

BASIS OF BEARINGS

PARCEL MAP FILED IN BOOK 873 AT PAGE 01 IN THE RECORDS OF SANTA CLARA COUNTY, AND TWO FOUND MONUMENTS AS SHOWN.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A CHC NAVIGATION CHC900 RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

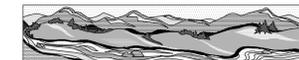
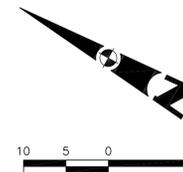
TOPOGRAPHIC SURVEY

LANDS OF RABII
24600 RUTH LEE COURT

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA

SCALE: 1" = 10'

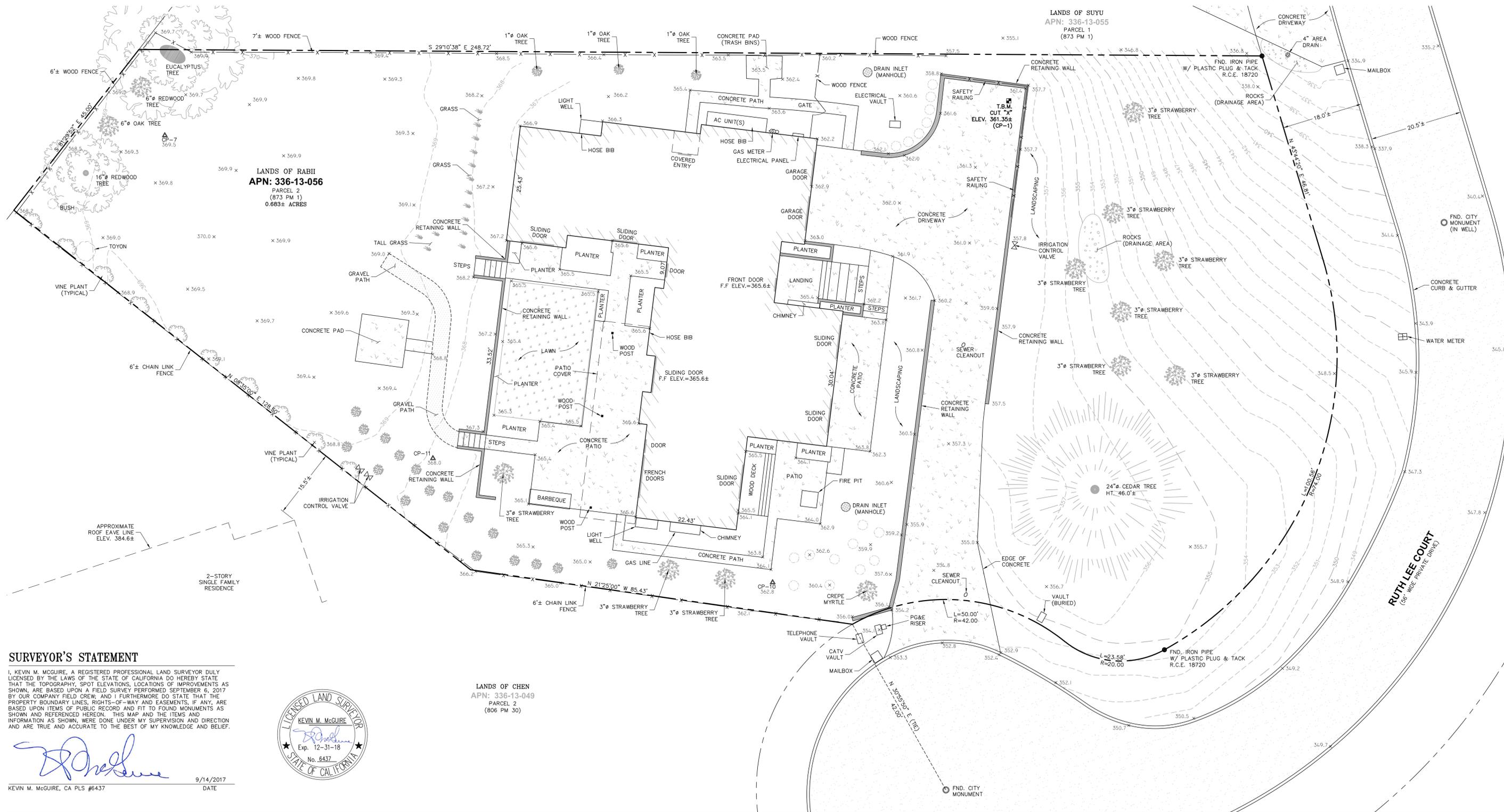
SEPTEMBER 13, 2017



QUIET RIVER

Land Services Inc.

6747 Sierra Court, Suite K
Dublin, CA 94568
(925) 734-6788 Phone



SURVEYOR'S STATEMENT

I, KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED SEPTEMBER 6, 2017 BY OUR COMPANY FIELD CREW, AND I FURTHERMORE DO STATE THAT THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION AS SHOWN, WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



LANDS OF CHEN
APN: 336-13-049
PARCEL 2
(806 PM 30)

KEVIN M. MCGUIRE, CA PLS #6437 DATE 9/14/2017



RABII-ROEBER RESIDENCE
 24600 RUTH LEE COURT
 LOS ALTOS HILLS, CA
 APN: 336-13-056

DATE:	ISSUE:
05/23/18	SPECIAL PERMIT

SCALE: 1/16"=1'-0"



LANDSCAPE
 SITE
 PLAN

L0.1

NOT FOR CONSTRUCTION

ROEBER RABII RESIDENCE

24600 RUTH LEE COURT

LOS ALTOS HILLS, CA 94024

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LOW POINT
LP	LOW FEET
(N)	NEW
PV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SCIB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE TRENCH DROP
W	DOMESTIC WATER LINE
WM	WATER METER

LEGEND:

EXISTING	PROPOSED	
—6" SS—	—6" SS—	SANITARY SEWER
—10" SD—	—10" SD—	SOLID PIPE STORM DRAIN
—4" SBD—	—4" SBD—	PERFORATED PIPE SUB DRAIN
—FM—	—FM—	FORCE MAIN
—10" FW—	—10" FW—	FIRE SERVICE
—2" W—	—2" W—	DOMESTIC WATER SERVICE
—IRR—	—IRR—	IRRIGATION SERVICE
—G—	—G—	NATURAL GAS
—T—	—T—	TELEPHONE
—TV—	—TV—	TV/CABLE TV
—E—	—E—	ELECTRICAL LINES/CONDUITS
—JT—	—JT—	JOINT TRENCH
—O/H—	—O/H—	OVERHEAD WIRES
—X—	—X—	FENCE
○	○	CLEAN OUT TO GRADE
●	●	FOUND MONUMENT
⊗	⊗	DOUBLE DETECTOR CHECK VALVE
⊕	⊕	POST INDICATOR VALVE
⊘	⊘	VALVE
⊙	⊙	METER BOX
⊚	⊚	STREET LIGHT
●	●	DRAIN
⊕	⊕	CATCH BASIN
⊕	⊕	FIRE HYDRANT
⊕	⊕	FIRE DEPARTMENT CONNECTION
⊕	⊕	BENCHMARK
⊕	⊕	MANHOLE
⊕	⊕	SIGN
⊕	⊕	SPLASH BLOCK
②	②	DETAIL NUMBER
CS.1	CS.1	SHEET LOCATION

COUNTY OF SANTA CLARA GENERAL CONSTRUCTION SPECIFICATIONS

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ALLS AND/OR GEOTECHNICAL REPORT PREPARED BY _____ AND DATED _____ THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - BY FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL ON SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE, WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED, WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY, WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED, THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL 2 HORIZONTAL TO 1 VERTICAL. ESTIMATED VOLUME OF CUT 95 CUBIC YARDS FILL 30 CUBIC YARDS MAXIMUM DEPTH OF CUT 10.9 FEET FILL 1.2 FEET NOTE: FILL VOLUMES ARE FOR 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

SANITARY SEWER

- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

APPLICANT: HELENA ROEBER & SHAHRIAR RABII

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

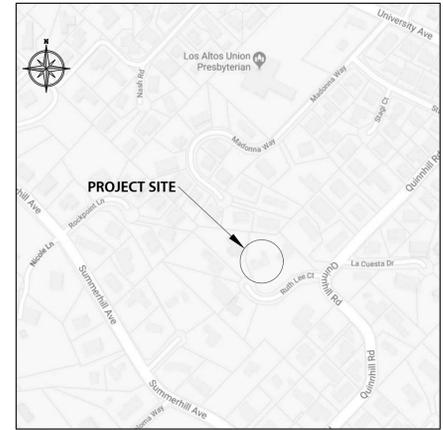
- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - 15 MILES PER HOUR (MPH) SPEED LIMIT
 - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-3672.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP ENTRIES. STRUCTURES SHALL BE INSTALLED AT ALL DITCH OUTFALLS WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE OWNER / OWNER'S CONTRACTOR, AGENT AND/OR ENGINEER SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. THE BMPs SHALL BE USED THROUGHOUT DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER / OWNER'S CONTRACTOR, AGENT, AND / OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

STREET LIGHTING

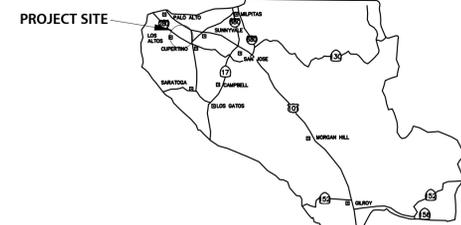
- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

STORM DRAINAGE

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEERING INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.



PROJECT SITE
N.T.S.



COUNTY LOCATION MAP
N.T.S.

SCOPE OF WORK

THE PROJECT PROPOSES THE CONSTRUCTION OF A NEW POOL HOUSE, SWIMMING POOL, AND MAYOR LANDSCAPE AND HARDSCAPE IMPROVEMENTS

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____WERE) (____WERE NOT) MINOR FIELD CHANGES – MARKED WITH THE SYMBOL (?). THERE (____WERE) (____WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL.

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: _____ DATE: _____
ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
CONSTRUCTION PERMIT NO. _____
GRADING PERMIT NO. _____
ISSUED BY: _____ DATE: _____

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. _____

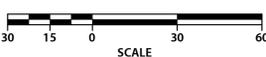
COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ R.C.E. NO. _____ EXPIRATION DATE _____

SHEET INDEX

SHEET #	DESCRIPTION
C0.0	TITLE SHEET
C1.0	PRELIMINARY GRADING PLAN
C2.0	PRELIMINARY EROSION CONTROL PLAN
C3.0	BEST MANAGEMENT PRACTICES
C3.1	BEST MANAGEMENT PRACTICES



SCALE



PROJECT CONTACT:
MILIARIŠT KONTOROVSKY | mk@kprox.com

DATE: 05/29/2018

DESCRIPTION:
PERMIT SUBMITTAL

ROEBER RABII RESIDENCE
24600 RUTH LEE COURT
LOS ALTOS HILLS, CA 94024

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT No:	18-9804
DATE:	05/16/2018
SCALE:	AS SHOWN
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE

TITLE & SHEET INDEX

C0.0

DATE:	05/29/2018
DESCRIPTION:	PERMIT SUBMITTAL

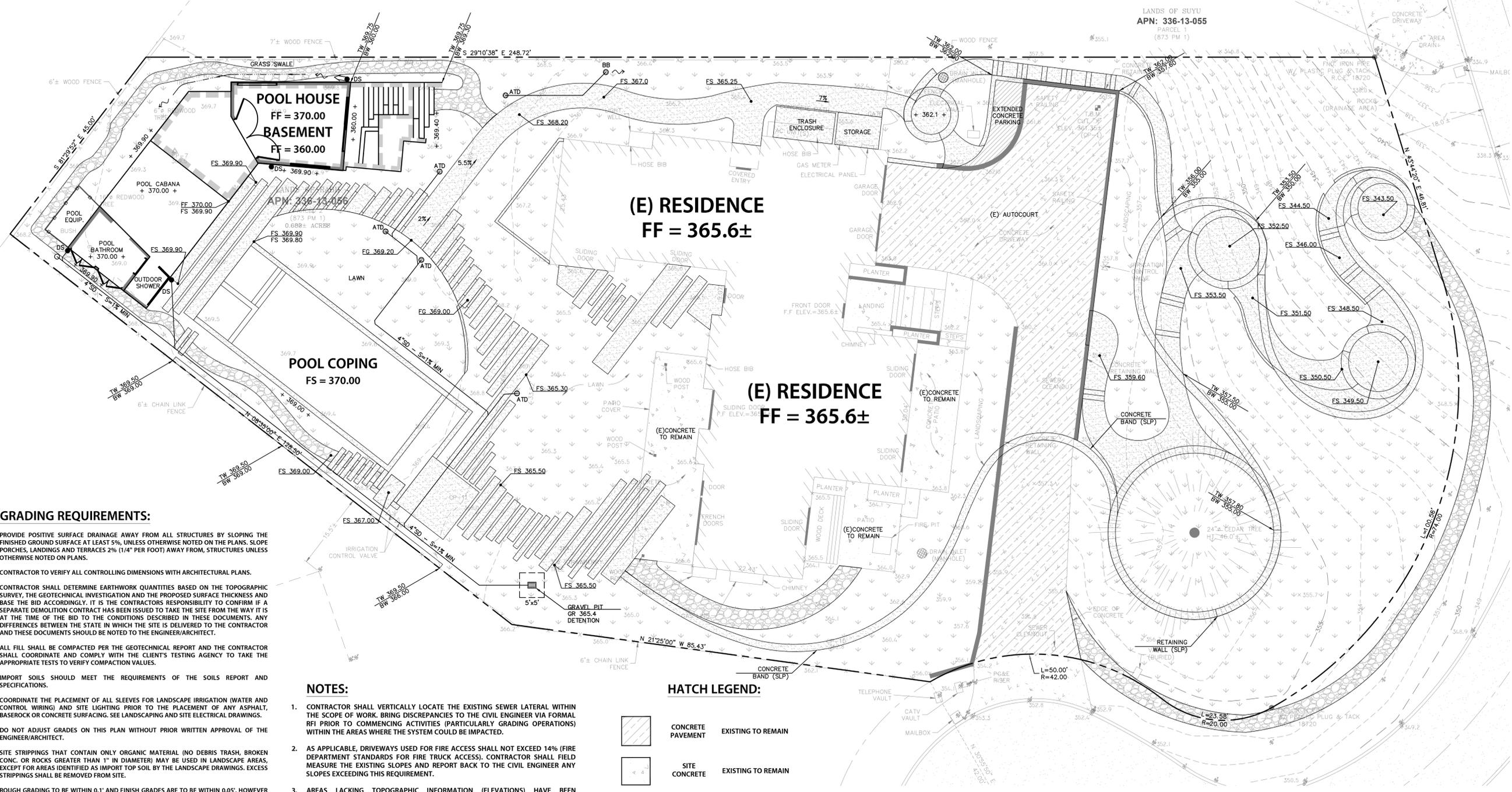
ROEBER RABII RESIDENCE
24600 RUTH LEE COURT
LOS ALTOS HILLS, CA 94024

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PROJECT No:	18-9804
DATE:	05/16/2018
SCALE:	1" = 10'
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE
PRELIMINARY GRADING AND DRAINAGE PLAN
C1.0

PRELIMINARY - NOT FOR CONSTRUCTION



GRADING REQUIREMENTS:

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM, STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONCRETE WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- STRUCTURE WALLS: PER CBC 2304.11.2.2 (WOOD SUPPORTED BY FOUNDATION) PROVIDE 8" MINIMUM CLEAR TO EXTERIOR GRADE.

NOTES:

- CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL WITHIN THE SCOPE OF WORK. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL RFI PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM COULD BE IMPACTED.
- AS APPLICABLE, DRIVEWAYS USED FOR FIRE ACCESS SHALL NOT EXCEED 14% (FIRE DEPARTMENT STANDARDS FOR FIRE TRUCK ACCESS). CONTRACTOR SHALL FIELD MEASURE THE EXISTING SLOPES AND REPORT BACK TO THE CIVIL ENGINEER ANY SLOPES EXCEEDING THIS REQUIREMENT.
- AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
- ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- ALL THE UTILITIES FOR THE POOLHOUSE WILL BE CONNECTED TO THE MAIN RESIDENCE UTILITIES.

HATCH LEGEND:

	CONCRETE PAVEMENT	EXISTING TO REMAIN
	SITE CONCRETE	EXISTING TO REMAIN
	CONCRETE PAVEMENT	PER LANDSCAPE PLAN
	SITE CONCRETE	PER LANDSCAPE PLAN
	NEW LANDSCAPE	PER LANDSCAPE PLANS

PRELIMINARY EARTHWORK QUANTITIES (EXCLUD. BLDG. FOOTINGS & POOL)	
95 C.Y. CUT	30 C.Y. FILL
BALANCE: 65 C.Y. EXPORT	
TOTAL TO BE MOVED: 125 C.Y. DISTURBANCE	
PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)	
705 C.Y. CUT	30 C.Y. FILL
BALANCE: 675 C.Y. EXPORT	
TOTAL TO BE MOVED: 735 C.Y. DISTURBANCE	
CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.	
FOR PLANNING AND DESIGN REVIEW PURPOSES, PRELIMINARY EARTHWORK NUMBERS EXCLUDE THE BUILDING FOOTPRINT AND POOL.	

ABBREVIATIONS:

AB	AGGREGATE BASE	GR	GRATE ELEVATION
AC	ASPHALT CONCRETE	GV	GATE VALVE
AD	AREA DRAIN	HP	HIGH POINT
ATD	ATRIUM DRAIN	INV	INVERT ELEVATION
BFPD	BACK FLOW PREVENTION DEVICE	JT	JOINT TRENCH
BSTD	BRICKSLOT TRENCH DRAIN	JP	JOINT POLE
BW	BOTTOM OF WALL ELEVATION	LD	LANDSCAPE DRAIN
CB	CATCH BASIN	LF	LINEAR FEET
CL	CENTER LINE	LP	LOW POINT
CS	CRAWL SPACE ELEVATION	(N)	NEW
CP	CAST IRON PIPE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PKG	PARKING
DD	DECK DRAIN	POC	POINT OF CONNECTION
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING WALL
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
DS	ROOF DOWN SPOUT	S	SLOPE
DW	DOMESTIC WATER LINE	SAP	SEE ARCHITECTURAL PLANS
DWL	DRYWELL CATCH BASIN	SBD	STORM SUB DRAIN
DWY	DRIVEWAY	SBDKO	STORM SUB DRAIN CLEANOUT
(E)	EXISTING	SD	STORM DRAIN
EG	EXISTING GRADE	SDCO	SEE GEOTECHNICAL REPORT
ELEC	ELECTRICAL	SGR	SEE GEOTECHNICAL REPORT
EM	ELECTRICAL METER	SICB	SIDE INLET CATCH BASIN
EP	EDGE OF PAVEMENT	SLP	SEE LANDSCAPE PLANS
FC	FACE OF CURB ELEVATION	SPP	SEE PLUMBING PLANS
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FF	FINISHED FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEVATION	SSP	SEE STRUCTURAL PLANS
FL	FLOW LINE ELEVATION	TW	TOP OF WALL ELEVATION
FM	FORCE MAIN LINE	TYP	TYPICAL
FS	FINISHED SURFACE ELEVATION	USD	UNDERSLAB DRAIN
FP	FINISHED PAVEMENT ELEVATION	VD	PIPE VERTICAL DROP
FW	FIRE WATER LINE	W	DOMESTIC WATER LINE
GB	GRADE BREAK	WM	WATER METER
GM	GAS METER		

SEE SHEETS C0.0 FOR ADDITIONAL NOTES AND LEGENDS



PERVIOUS AND IMPERVIOUS SURFACES COMPARISON			
TOTAL SITE (ACRES):	EXISTING CONDITION OF SITE AREA (SQUARE FEET)	PROPOSED CONDITIONS OF SITE AREA DISTURBED (SQUARE FEET)	
		REPLACED	NEW
0.68	3,665	0	1,399
	2,600	0	86
	3,565	601	4,105
TOTAL IMPERVIOUS SURFACES:	9,830	601	5,580
PERVIOUS SURFACES			
LANDSCAPE AREA	19,934	13,785	983
PERVIOUS PAVING	0	0	0
OTHER PERVIOUS SURFACES (HMP BASIN, BIO-RETENTION)	0	0	0
TOTAL PERVIOUS SURFACES	19,934	13,785	983
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:		6,181	
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:		14,768	

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1-800-227-2600

EROSION AND SEDIMENTATION CONTROL NOTES:

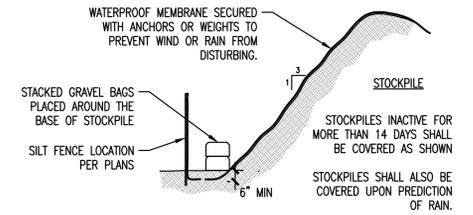
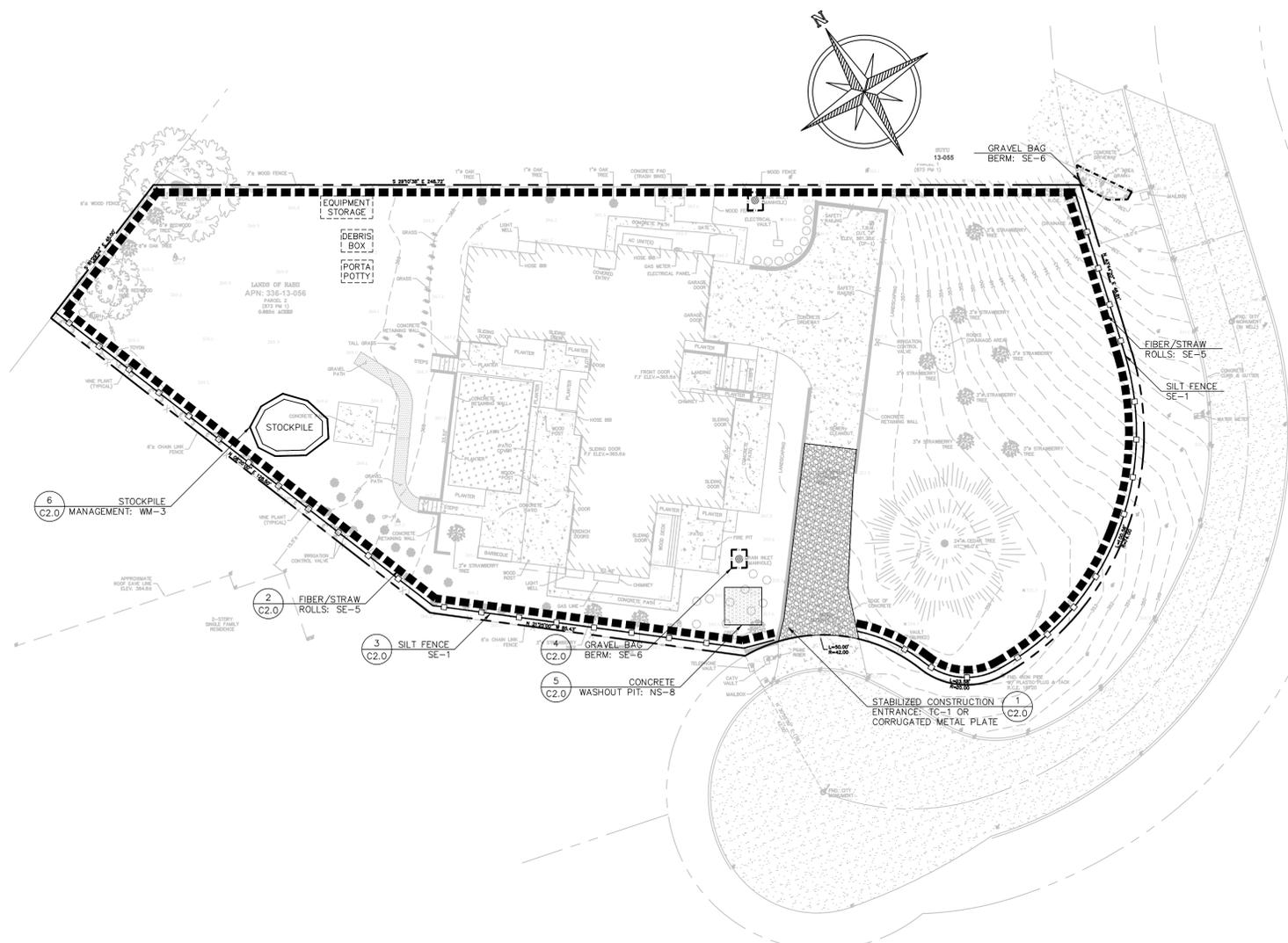
- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

EROSION CONTROL POINT CONTACT

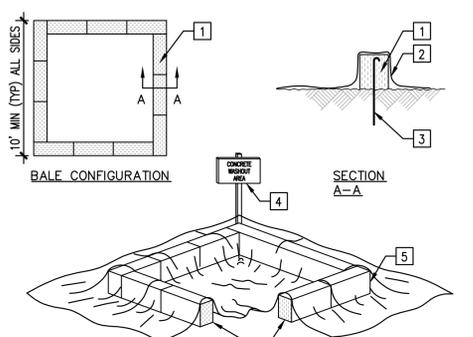
NAME: _____

PHONE NUMBERS: _____

EMAIL: _____

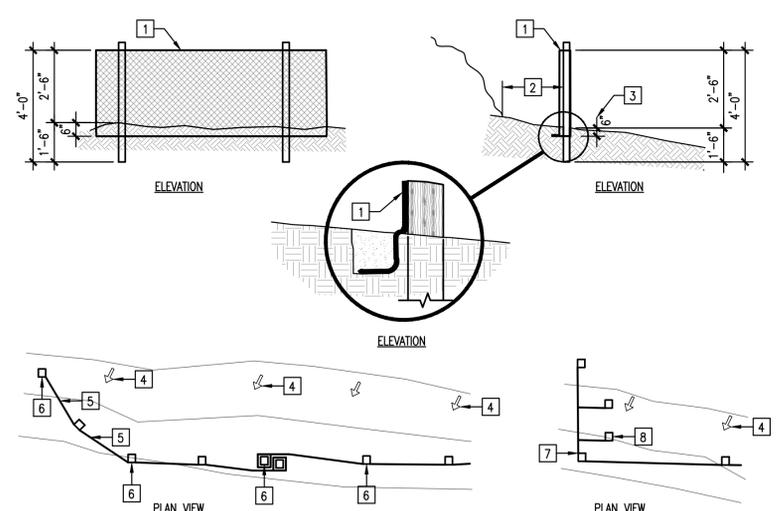


6 N.T.S. STOCKPILE → **STOCKPILE COVERING**

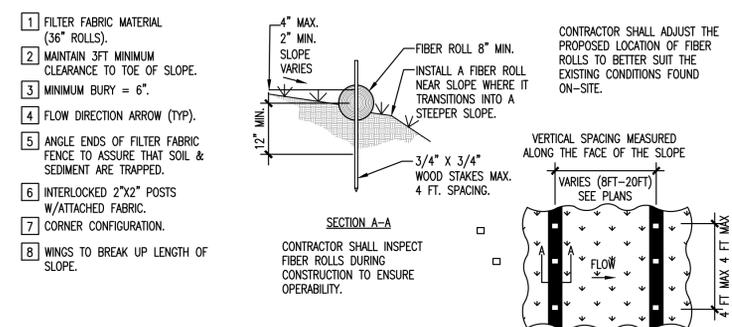


- STRAW BALES, FIBER ROLLS OR EQUAL.
 - 60 MIL POLYETHYLENE OR EQUAL WATERPROOF PLASTIC MEMBRANE.
 - 2"x2" STAKES OR #4 J-BARS (TWO PER BALE TYPICAL).
 - SIGN TO BE 24"x36" MIN FACING NEAREST STREET OR ACCESS POINT.
 - DEPTH TO BE 24" MINIMUM.
- THIS SECTION IS REMOVED FOR GRAPHICAL REPRESENTATION ONLY. PERIMETER SHALL BE CONTINUOUS.
- NOTE:
CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50FT MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES.
- WATER IN WASHOUT PIT SHALL BE PUMPED ONCE IT REACHES 18" MAX.

5 N.T.S. WASHOUT → **CONCRETE WASHOUT**

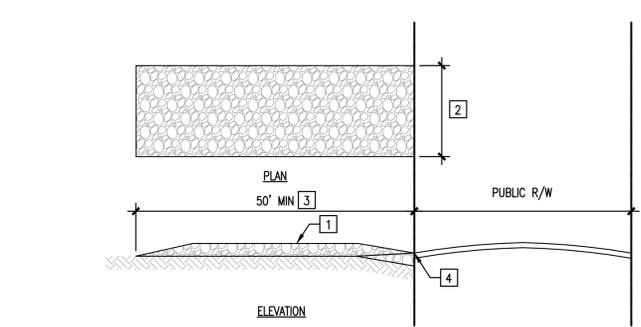


3 N.T.S. SILT FENCE → **SILT FENCE**



- FILTER FABRIC MATERIAL (36" ROLLS).
 - MAINTAIN 3FT MINIMUM CLEARANCE TO TOE OF SLOPE.
 - MINIMUM BURY = 6".
 - FLOW DIRECTION ARROW (TYP).
 - ANGLE ENDS OF FILTER FABRIC FENCE TO ASSURE THAT SOIL & SEDIMENT ARE TRAPPED.
 - INTERLOCKED 2"x2" POSTS W/ ATTACHED FABRIC.
 - CORNER CONFIGURATION.
 - WINGS TO BREAK UP LENGTH OF SLOPE.
- CONTRACTOR SHALL INSPECT FIBER ROLLS DURING CONSTRUCTION TO ENSURE OPERABILITY.
- NOTES:
A. INSTALL FIBER ROLLS IN A ROW ALONG A LEVEL CONTOUR.
B. AT ENDS OF A ROW TURN THE LAST TWO FEET UP SLOPE SLIGHTLY.
C. FIBER ROLLS SHALL BE BUTTED TIGHTLY AT THE JOINTS.
D. DO NOT OVERLAP JOINTS.
E. FIBER ROLLS SHALL BE INSPECTED WEEKLY AND AFTER STORMS AND REPAINTED OR REPLACED AS NEEDED.

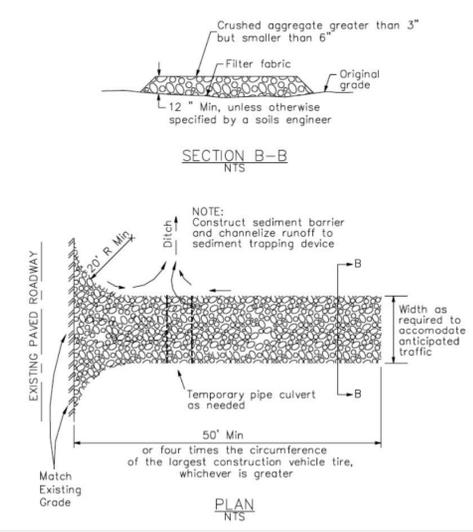
2 N.T.S. FIBERROLLS → **FIBER ROLLS**



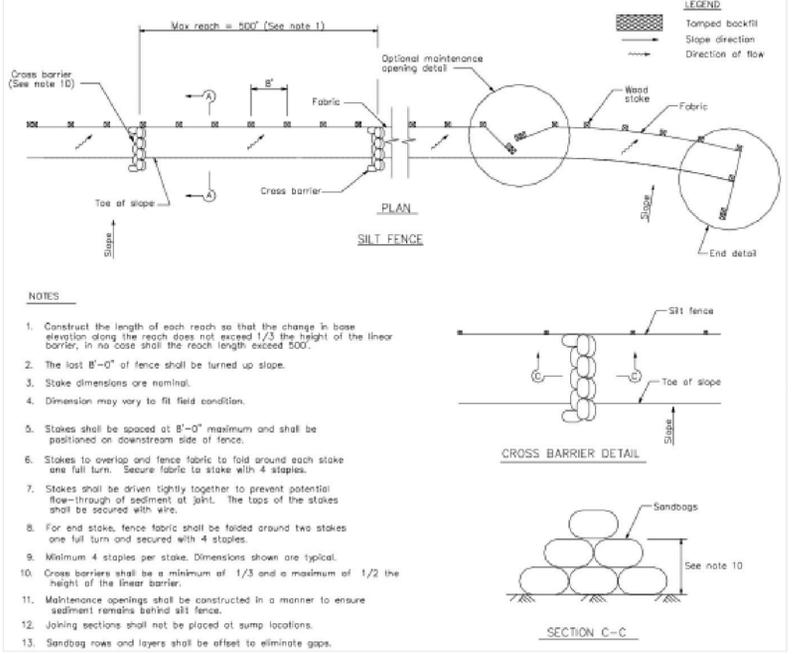
- CONTRACTOR SHALL ADJUST THE PROPOSED LOCATION OF FIBER ROLLS TO BETTER SUIT THE EXISTING CONDITIONS FOUND ON-SITE.
- VERTICAL SPACING MEASURED ALONG THE FACE OF THE SLOPE VARIES (8FT-20FT) SEE PLANS
- NOTES:
A. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" TO 6" STONE.
B. PROVIDE A FANNED STABILIZED ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
C. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARD OR OTHER APPROVED METHODS.
D. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
 - THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50', UNLESS OTHERWISE APPROVED BY THE REVIEWING AGENCY.
 - PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R/W

1 N.T.S. CON ENTR → **STABILIZED CONSTRUCTION ENTRANCE**

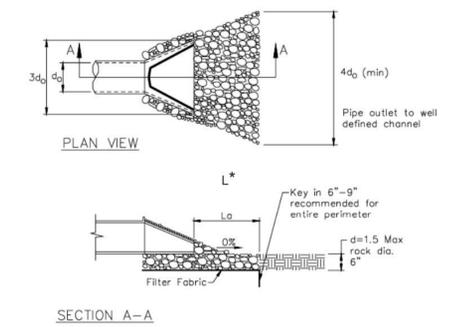
3 Stabilized Construction Entrance/Exit
CASQA Detail TC-1



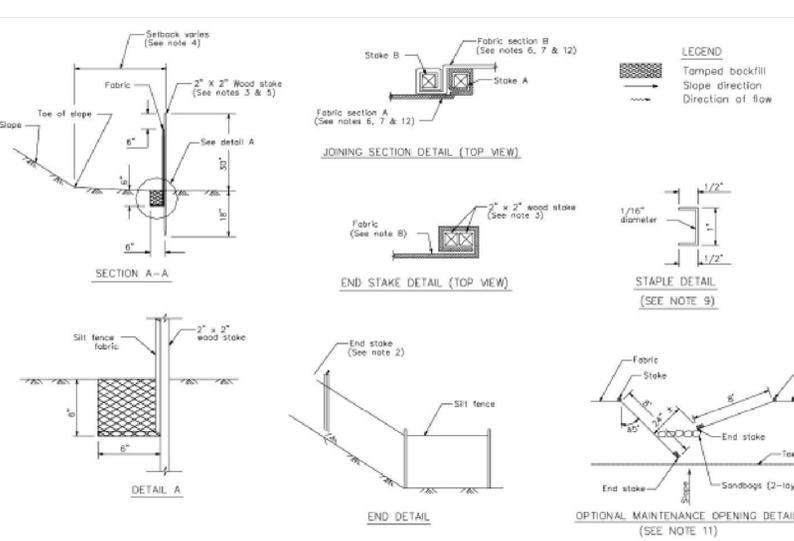
1 Silt Fence
CASQA Detail SE-1



4 Velocity Dissipation Devices
CASQA Detail EC-10



2 Silt Fence
CASQA Detail SE-1



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara



BMP-1



PRELIMINARY - NOT FOR CONSTRUCTION



PROJECT CONTACT:
MILIARIAST KONTOROVSKY | mk@kprox.com

DATE:	05/29/2018
DESCRIPTION:	PERMIT SUBMITTAL

ROEBER RABII RESIDENCE
24600 RUTH LEE COURT
LOS ALTOS HILLS, CA 94024

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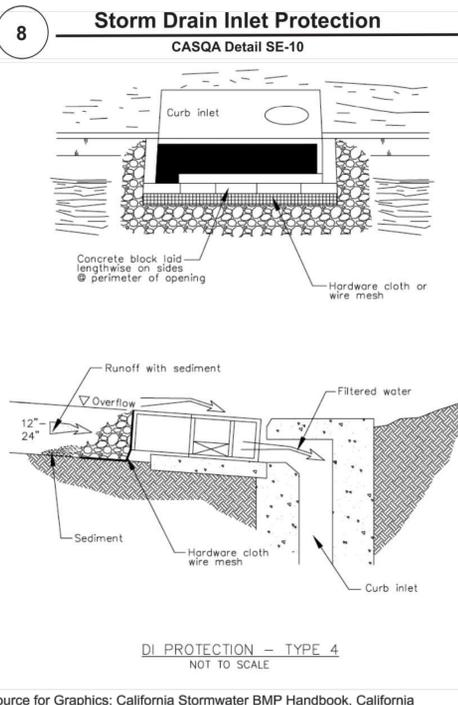
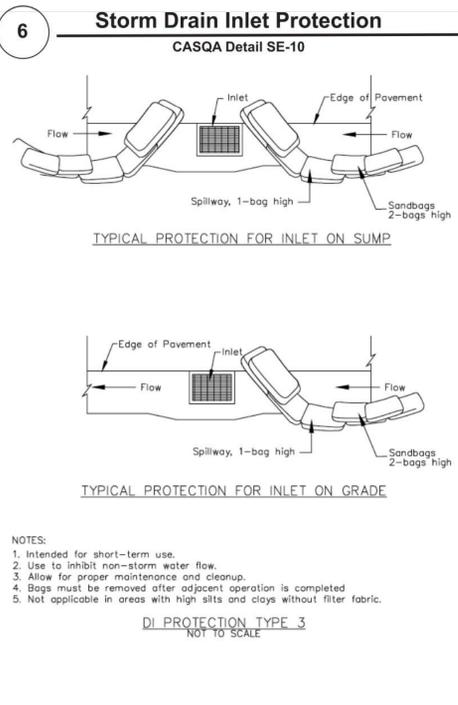
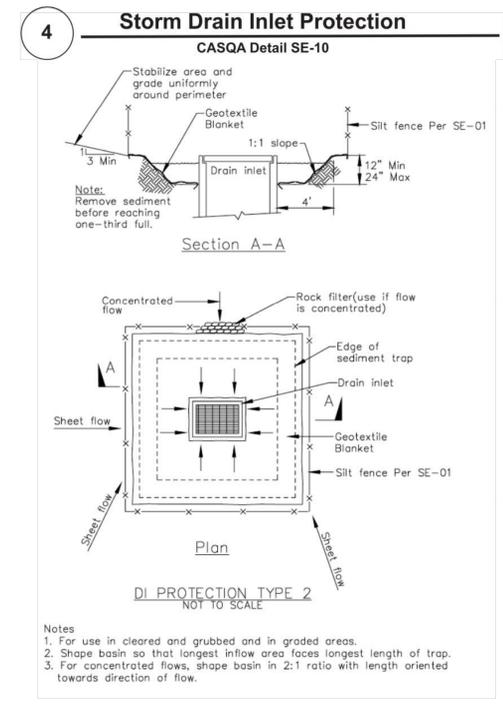
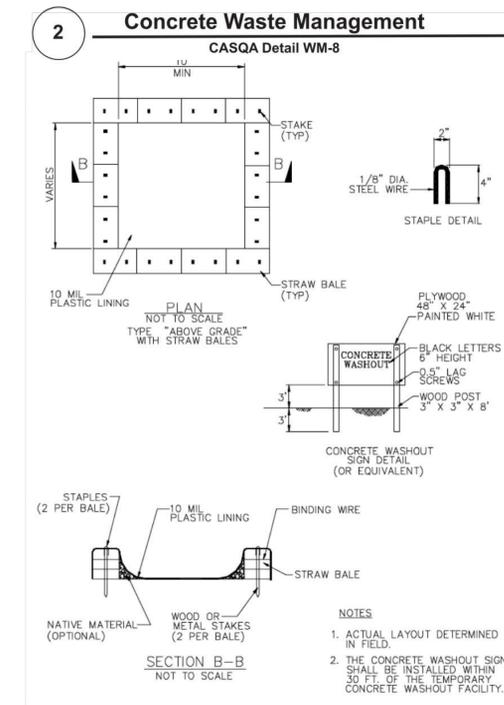
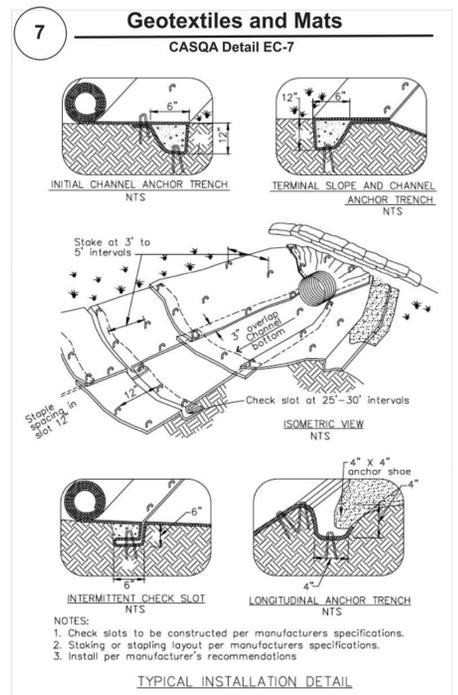
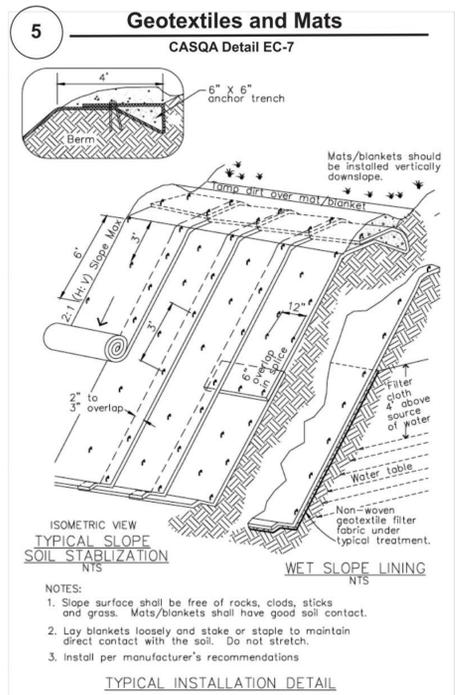
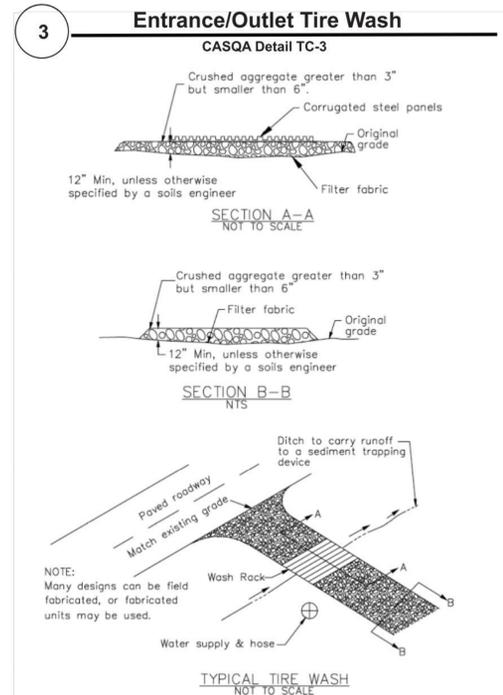
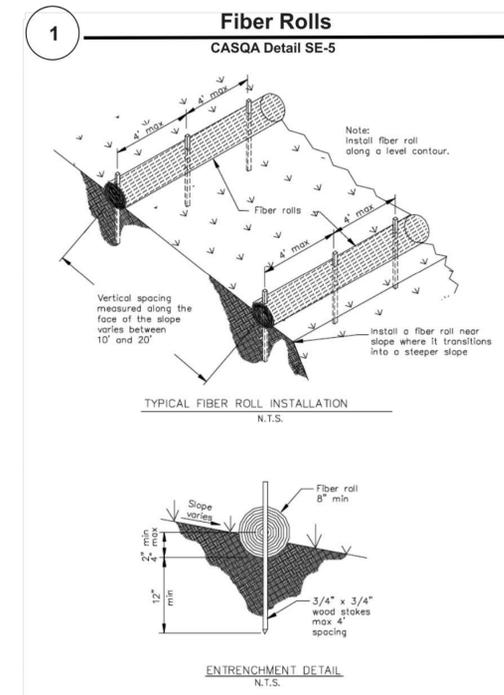
PROJECT No:	18-9804
DATE:	05/16/2018
SCALE:	AS SHOWN
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE
BEST MANAGEMENT PRACTICES
C3.0



BMP-2

Best Management Practices and Erosion Control Details Sheet 2
County of Santa Clara



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.



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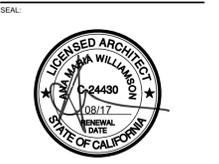
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SPECIAL PERMIT	06/08/2018
SPECIAL PERMIT R1	07/18/2018

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DATE: 7/18/2018
JOB NO: 1712
DRAWING TITLE: PROPOSED SITE PLAN

SHEET: **A1.0**



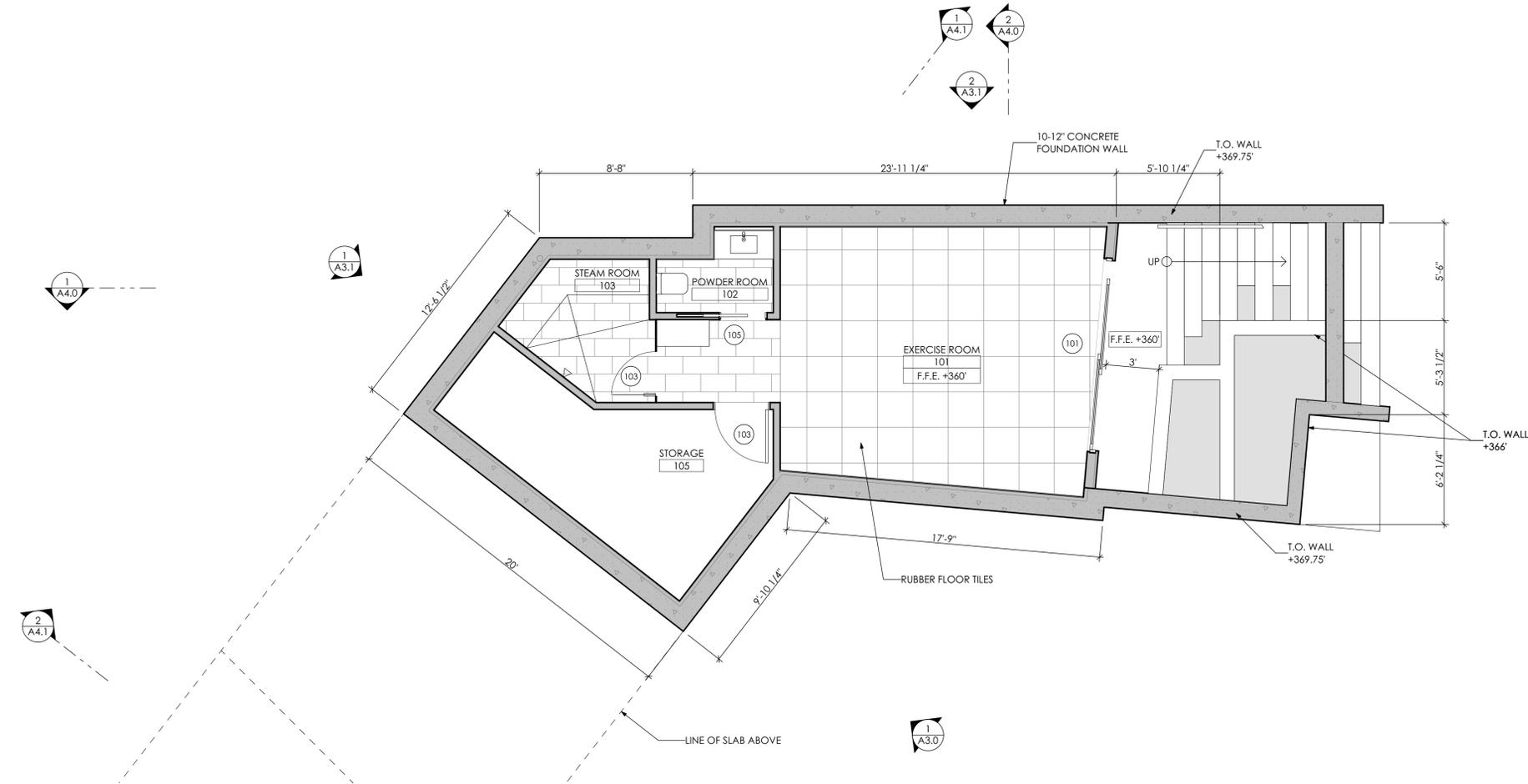
1 SITE PLAN - ROOF
3/32" = 1'-0"



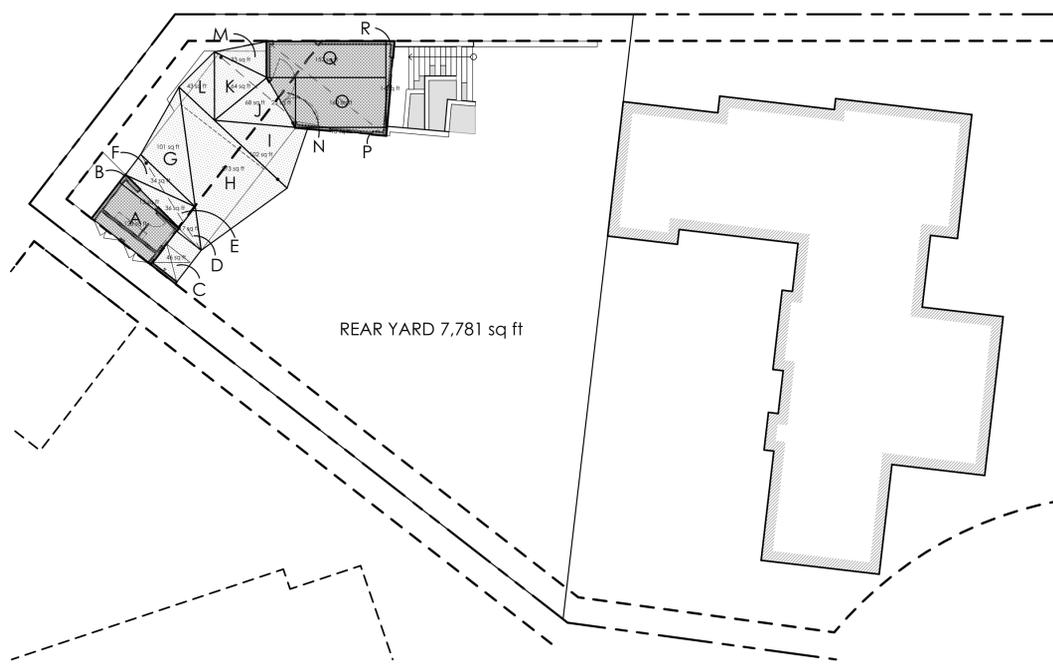
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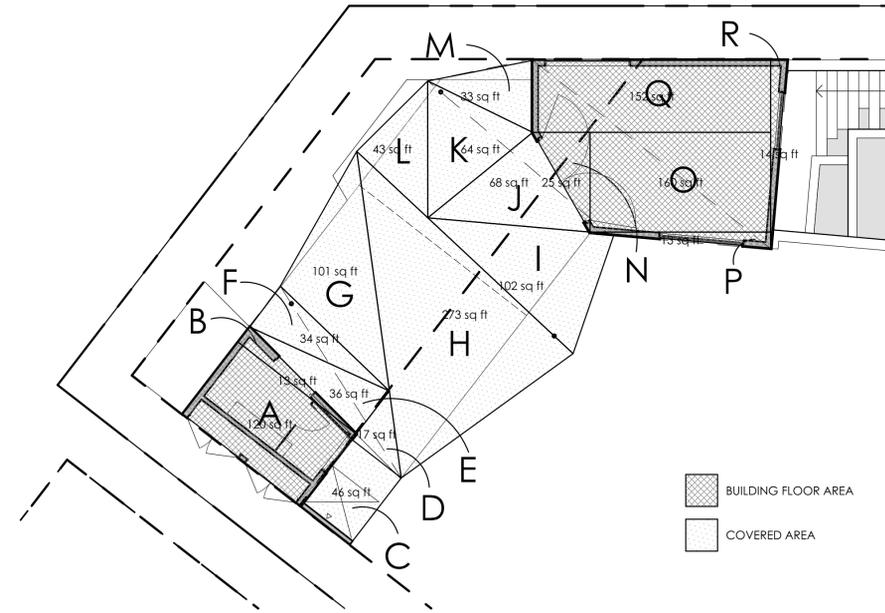
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DATE: 7/18/2018
JOB NO: 1712
DRAWING TITLE: PROPOSED BASEMENT PLAN & REAR YARD COVERAGE DIAGRAM
SHEET: _____



2 PROPOSED BASEMENT PLAN
1/4" = 1'-0"



1 REAR YARD COVERAGE DIAGRAM
1/16" = 1'-0"

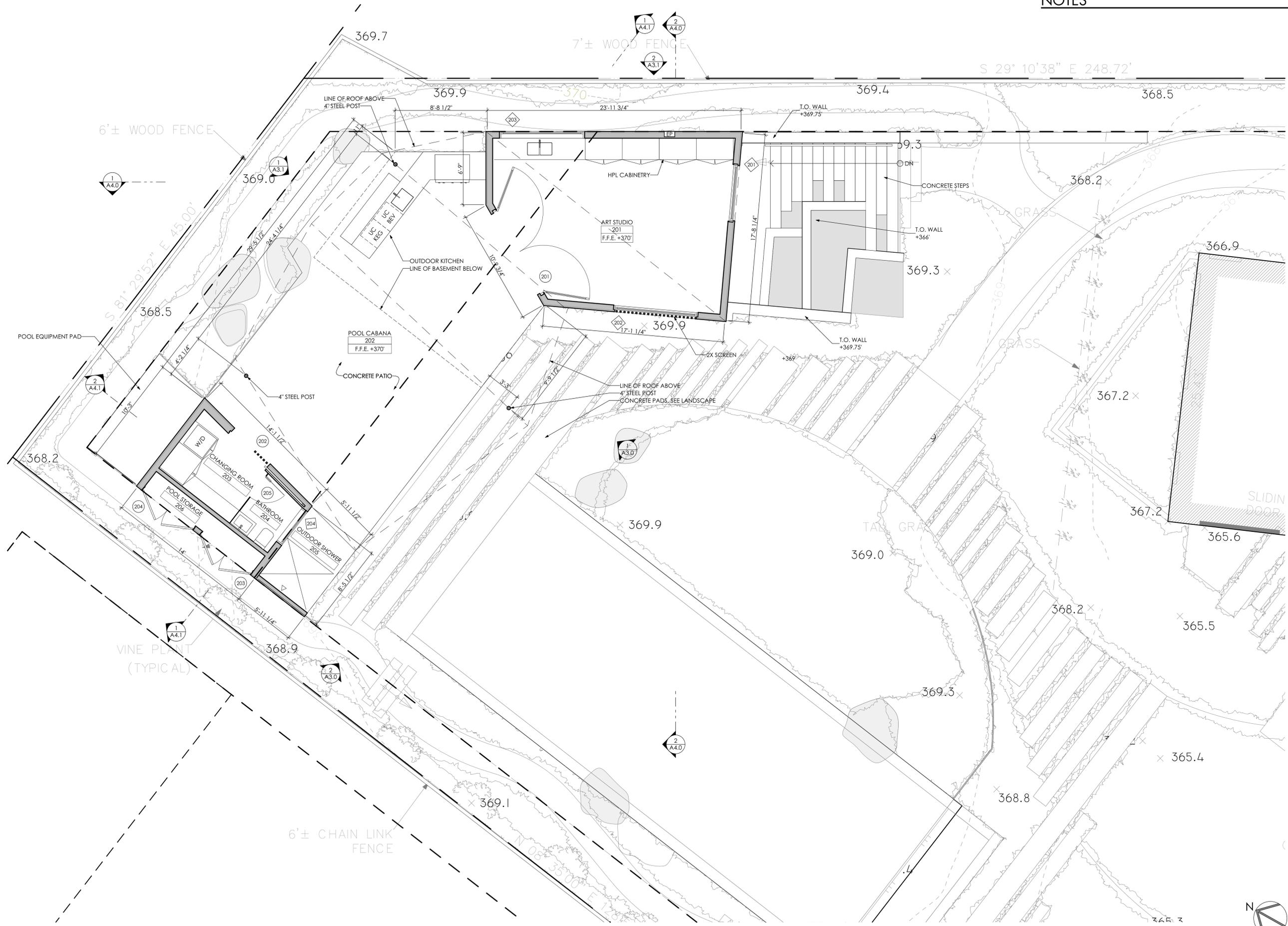


1 FAR DIAGRAM
1/8" = 1'-0"

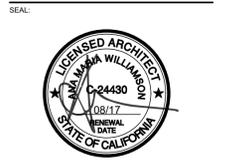
ZONE	DIMENSION	AREA
CHANGING AREA / BATHROOM		
A	8'-7" X 14'-1"	120 SF
B	1/2(11'-9 1/2" X 14'-1")	13 SF
TOTAL:		133 SF
COVERED PATIO		
C	7'-10 1/2" X 5'-10 1/2"	46 SF
D	1/2(5'-9 1/4" X 5'-10 1/2")	17 SF
E	1/2(5'-0 3/4" X 14'-2 1/2")	36 SF
F	1/2(4'-9 1/2" X 14'-1")	34 SF
G	1/2(8'-10 1/2" X 22'-8 1/2")	101 SF
H	1/2(17'-8" X 30'-11 1/2")	273 SF
I	1/2(10'-10 1/2" X 18'-8 3/4")	102 SF
J	1/2(8'-10 1/4" X 15'-4 1/2")	68 SF
K	1/2(11'-6 3/4" X 11'-0 1/4")	64 SF
L	1/2(6'-8 1/2" X 12'-10 1/4")	43 SF
M	1/2(6'-1" X 11'-0 1/4")	33 SF
TOTAL:		817 SF
ART STUDIO/GYM		
N	1/2(5'-5" X 9'-4 1/2")	25 SF
O	9'-4 1/2" X 17'-0 1/2"	160 SF
P	1/2(11'-6" X 17'-0 1/2")	13 SF
Q	6'-9" X 22'-5 1/4"	152 SF
R	1/2(11'-6 1/2" X 17'-7 1/2")	14 SF
TOTAL:		364 SF



NOTES



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

SHEET: A2.1

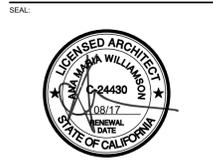
AVERAGE ROOF HEIGHT CALC.	
$\frac{(+379.4'+382.4'+381.0'+383.3'+381.8'+383.7'+379.9'+383.7'+381.5'+383.3'+380.0'+382.4')}{12} = +381.8'$	
AVERAGE ROOF HEIGHT =	+381.8'
AVERAGE ROOF HEIGHT +381.8' AVERAGE GRADE AT BUILDING CORNERS +369.9' AVERAGE ROOF HEIGHT FROM GRADE +11.9'	

NOTES

1. ROOF TO BE UNVENTED ASSEMBLY, FILL CAVITY WITH SPRAY FOAM INSULATION.
2. ROOF MEMBRANE TO BE TPO OR SIMILAR. PROVIDE STAND-OFFS FOR SOLAR INSTALLATION.



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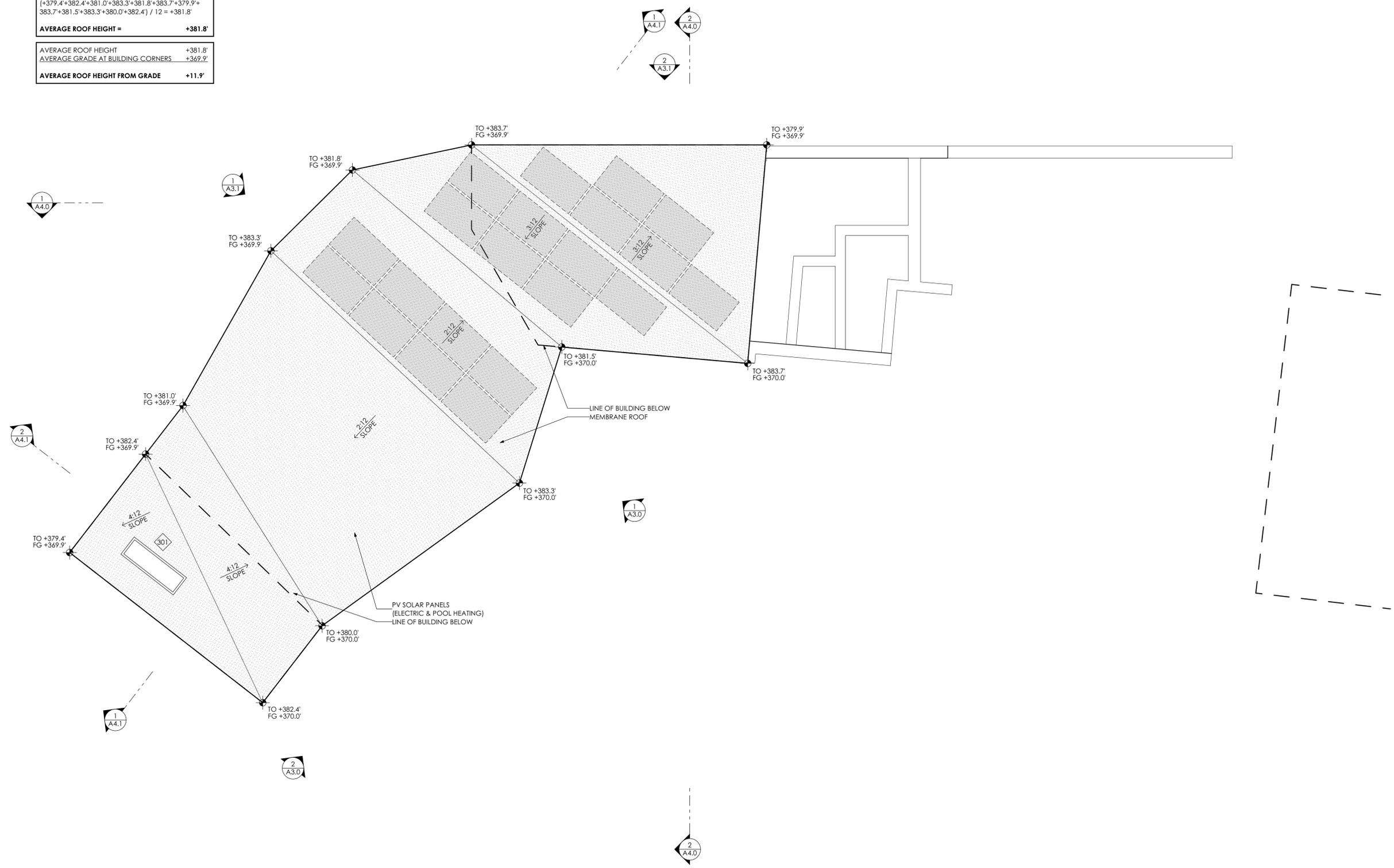
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DATE: 7/18/2018
JOB NO: 1712
DRAWING TITLE: PROPOSED ROOF PLAN

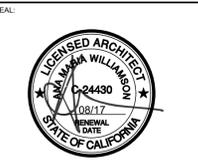
SHEET: **A2.2**

1 ROOF
1/4" = 1'-0"





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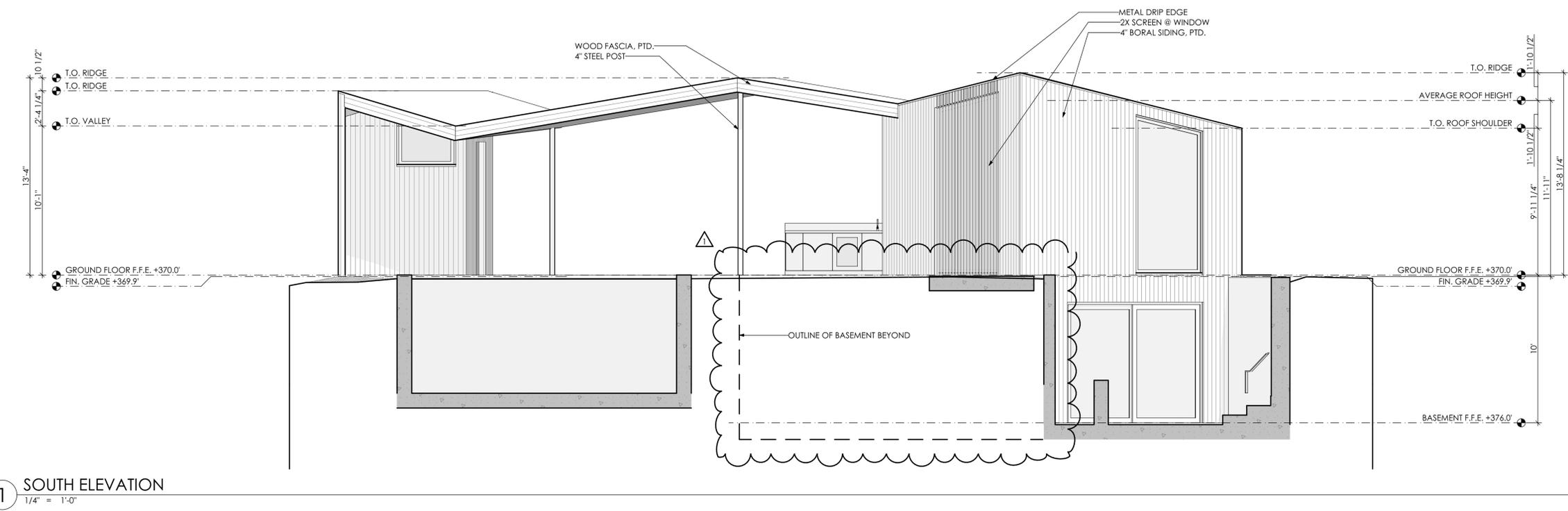
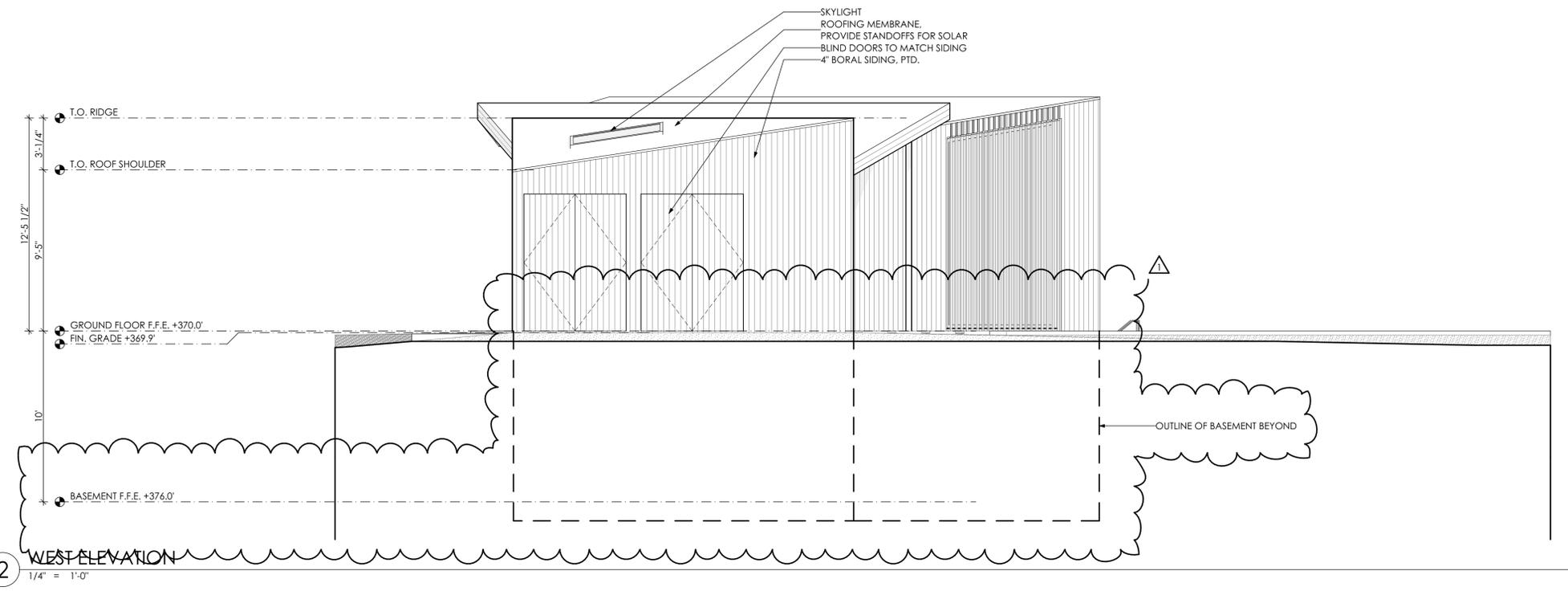


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SPECIAL PERMIT R1

DRAWN: JG
DATE: 7/18/2018
JOB NO: 1712
DRAWING TITLE: PROPOSED ELEVATIONS

SHEET: A3.0





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SEAL:



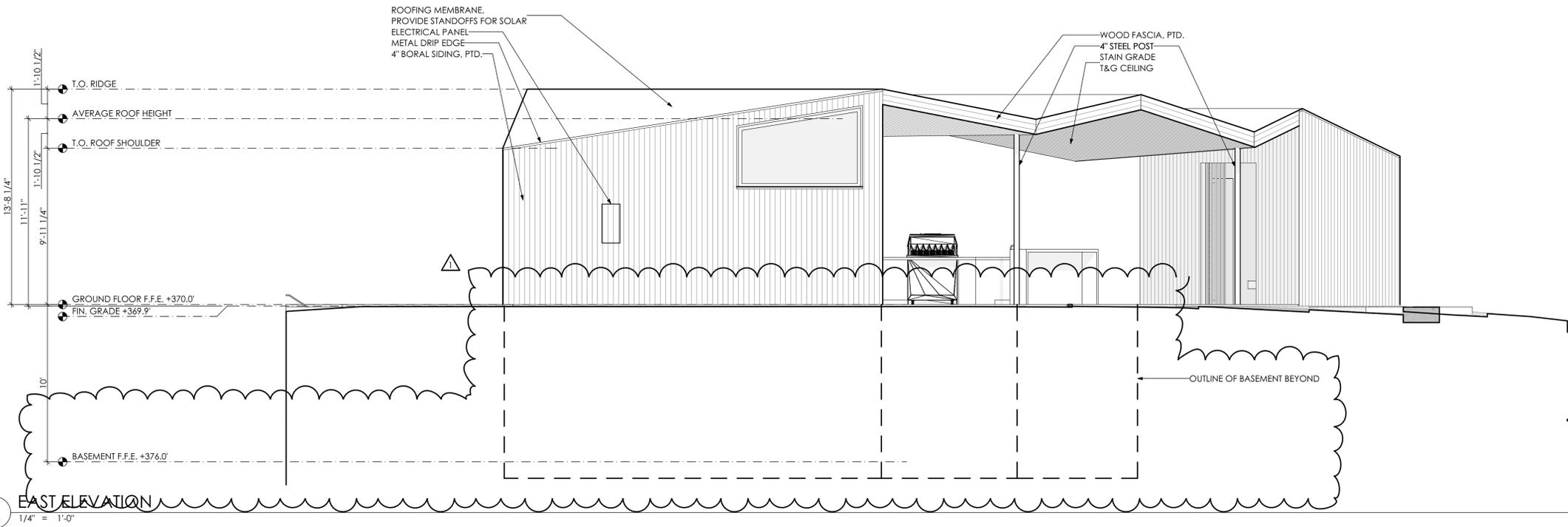
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ISSUE:	DATE:
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SPECIAL PERMIT R1	07/18/2018

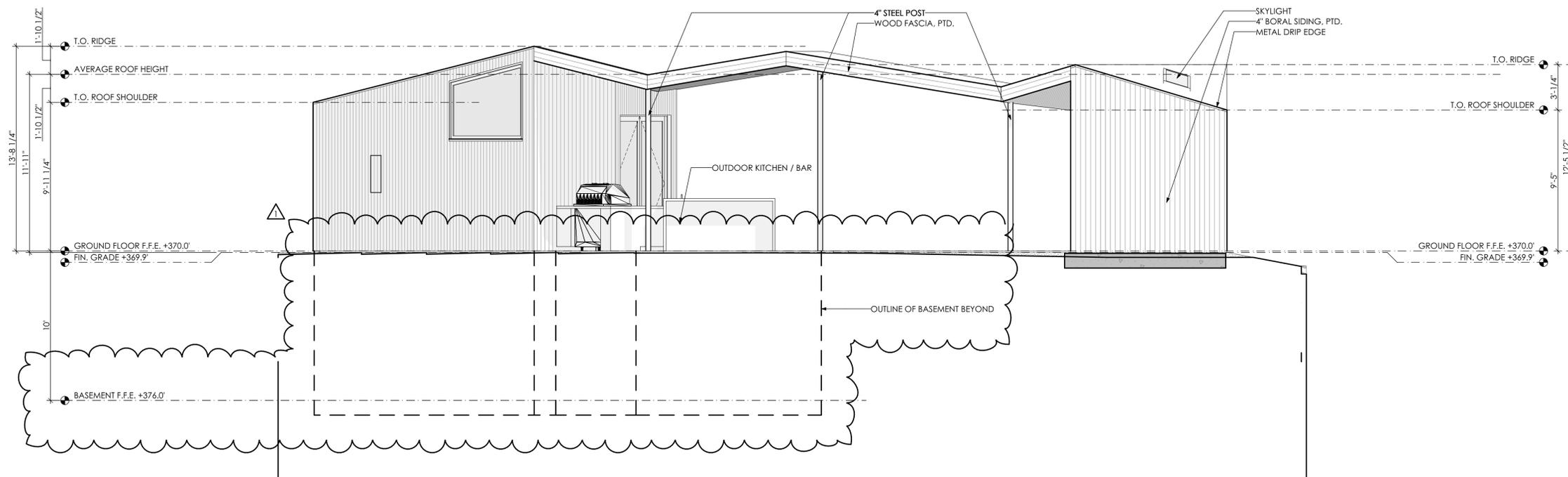
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SHEET:

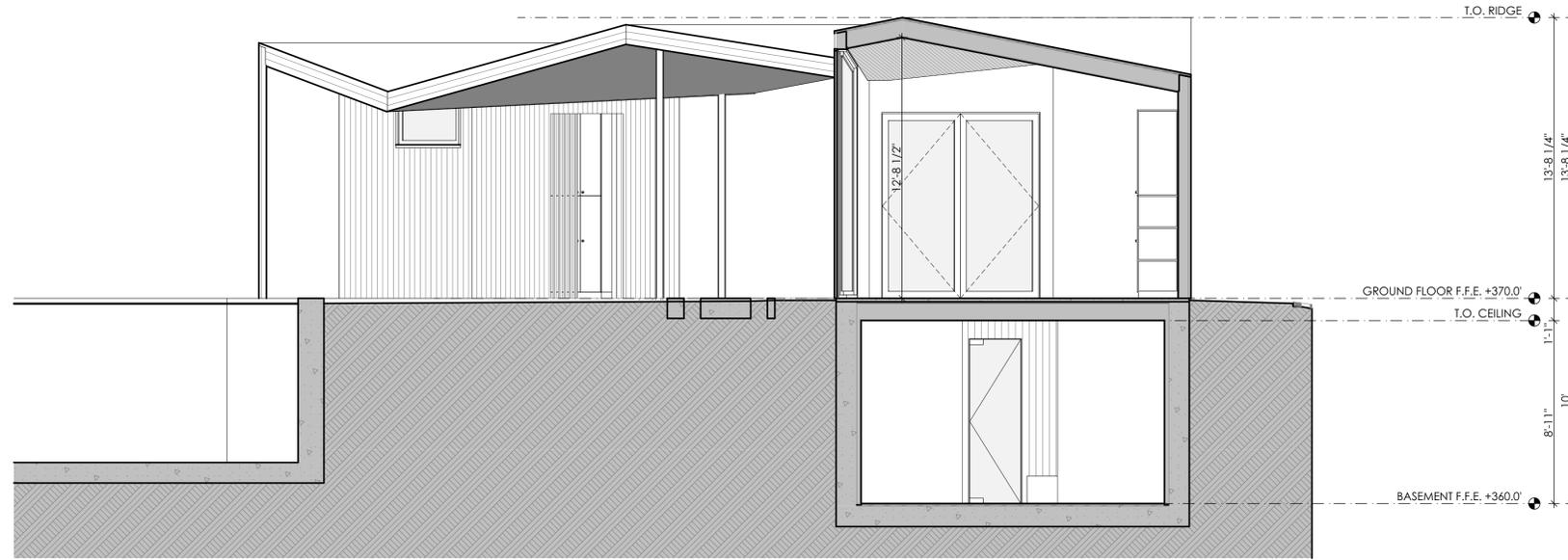
A3.1



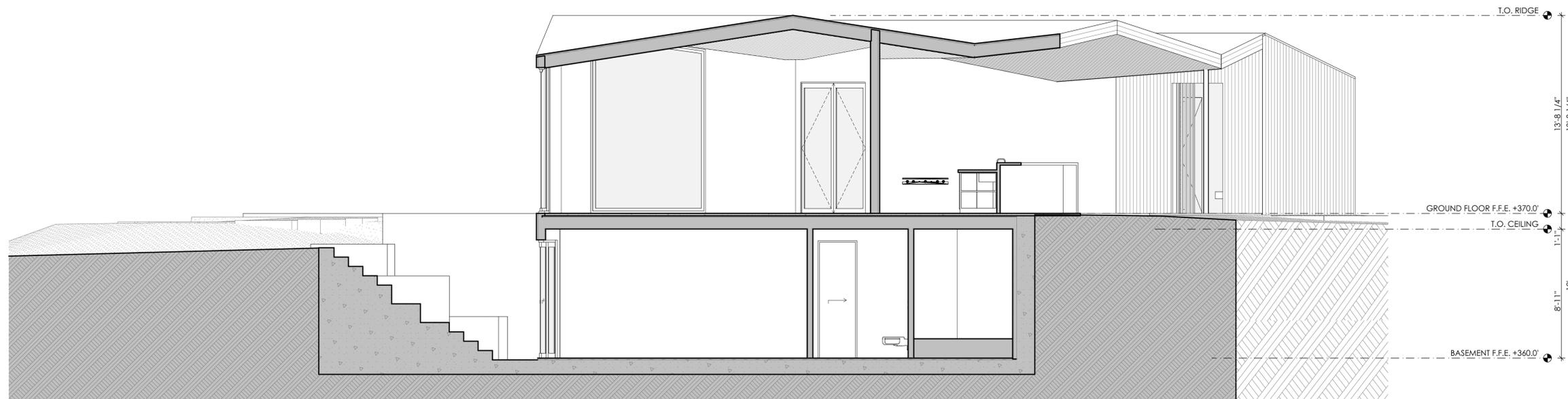
2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



2 STUDIO CROSS SECTION
1/4" = 1'-0"



1 STUDIO LONGITUDINAL SECTION
1/4" = 1'-0"



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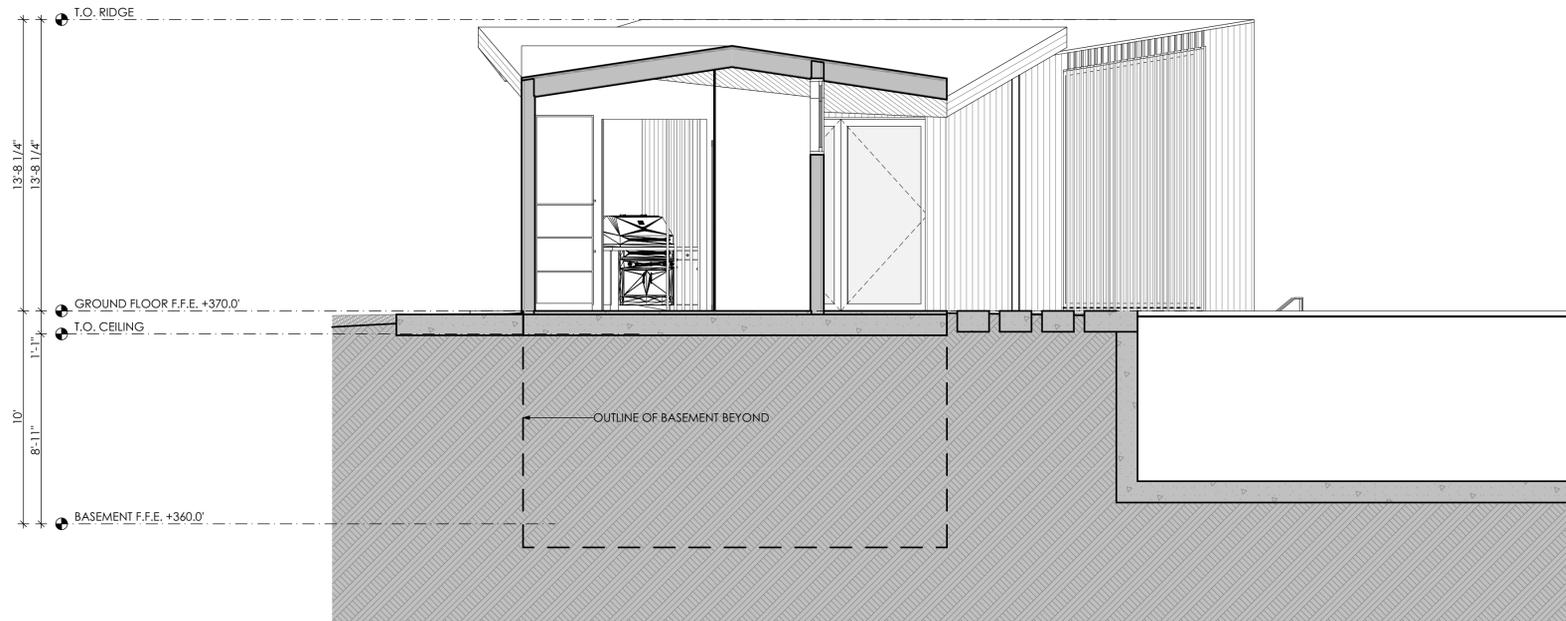


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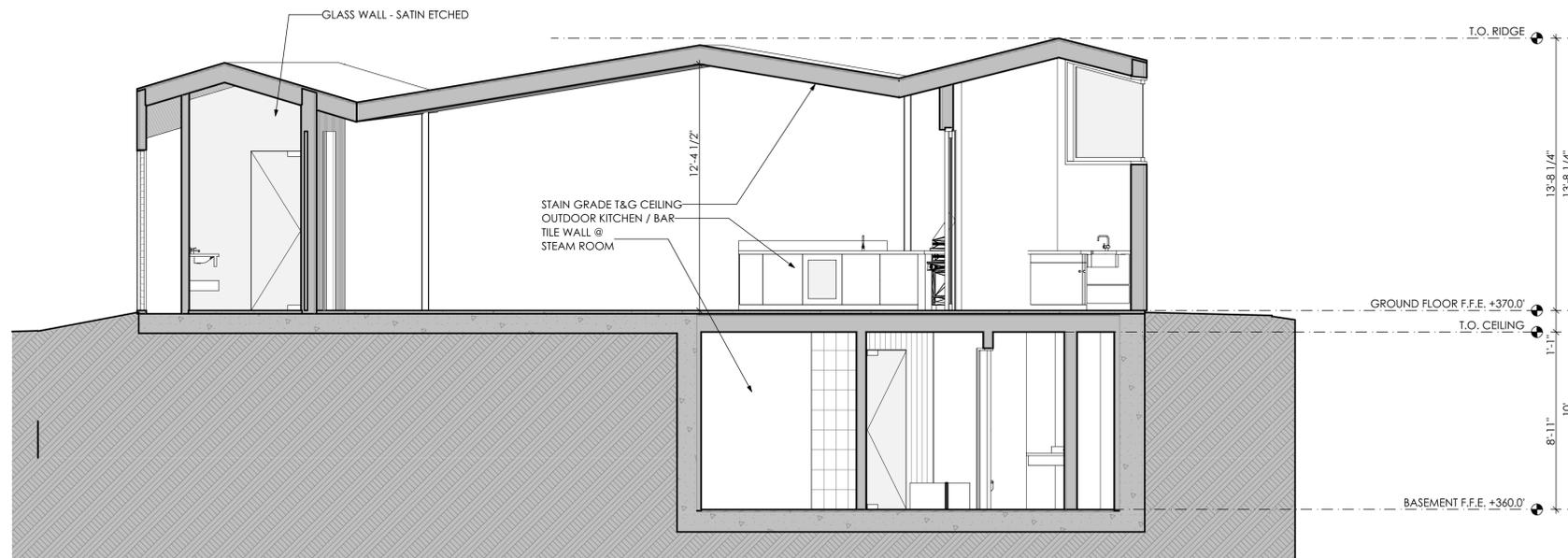
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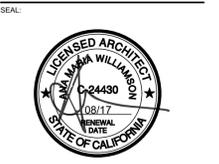
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2 SECTION THROUGH BATHROOM
1/4" = 1'-0"



1 SECTION THROUGH CABANA
1/4" = 1'-0"



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