

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT
Zoning Administration
February 7, 2019
**Continued Public
Hearing Item #2**

Staff Contact: Colleen Tsuchimoto
(408) 299-5797, Colleen.Tsuchimoto@pln.sccgov.org

File: 11360-18DR

Design Review for Rebuild of a Single-Family Residence

Summary: Design Review for a new 10,928 square foot two-story residence, with attached three-car garage. Proposed grading is 60 c.y. of cut and 20 c.y. of fill.

Owner: Ann Koo

Applicant: Queen Foo

Address: 23271 Partridge Dr., Los Altos

APN: 331-24-004

Supervisory District: #5

Gen. Plan Designation: Los Altos Hills

Zoning: R1E-1Ac-d

Lot Size: 1 acre

Present Land Use: Single-Family Residence

HCP: Not in HCP Area.

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, under Section 15303 (Class 3) (a) of the CEQA Guidelines, Attachment A; and
- B. Grant Design Review Approval, subject to conditions outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – CEQA Determination

Attachment B – Preliminary Conditions of Approval

Attachment C – Proposed Plans and Vicinity Map

Attachment D – January 17, 2019 ZA Memorandum

PROJECT DESCRIPTION

The proposed project is for Design Review to demolish the majority of an existing 3,826 square-foot single-family residence, thereby classifying this project as a rebuild, and constructing a new 10,928 sq. ft., two-story residence in the same location. The residence would utilize the existing driveway. The City of Los Altos is an adjacent jurisdiction and would serve the property for domestic water supply. Two deceased 6" willow trees will be removed. The project will include a total of 80 c.y. of grading, comprised of 60 c.y. of cut and 20 c.y. of fill.

Setting/Location Information

The subject parcel currently has one existing residence, and is located at 23271 Partridge Drive, within unincorporated Los Altos. The property's frontage is on Partridge Lane, and is located between Mora Drive and Eastbrook Avenue, within the Town of Los Altos Hill's urban service area. Interstate 280 abuts the northern property line of the subject lot. The general vicinity surrounding the subject parcel is flat with a gentle downhill slope connecting to Eastbrook Ave. The predominant land uses in the vicinity are other single-family residences, with Waldorf School of Peninsula to the south.

The subject lot is an approved building site - created through Tract 7767, lot 4. The subject Design Review application is a resulting requirement from the 1983 subdivision approval (County file 433-83S) which created 8 lots in the -d district. The 1983 approval subdivided the original 10-acre site into 8 lots, where Lot 1 thru 7 were subsequently built with single family residences, and Lot 8 remained as school use.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The environmental impacts of the proposed project were analyzed, resulting in a proposed Categorical Exemption (See Attachment A). The aesthetic impacts of the proposed project have been addressed through the design review conditions. There is no sensitive habitat, water courses, or impacts to trees. The project would not create any new environmental impacts as the footprint is in the same area of the existing home. Therefore, the project qualifies for a Class 3, Section 15303 Exemption from CEQA.

B. Project/Proposal

1. **General Plan:** The town's general plan land use designation allows for single-family residential use. The project is located in the Town of Los Altos Hills Urban Service Area. The site is not eligible for annexation, as the boundaries of Los Altos Hills are over 300 ft. away from the property.
2. **Approved Building Site:** The site is an approved building site as a result of a subdivision processed in 1993 by the County (Tract 7767, lot 4). File # 488-83S).

3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for R1E-1Ac-d Zoning District as summarized below, followed by a Table noting the project’s conformance with Section 5.50 “-d” Combing District:

Setbacks (R1E-1Ac): 30-ft from front, 20-ft from sides, 25-ft. from rear
Height: 35-feet
Stories: 2-stories

STANDARDS & REQUIREMENTS	CODE SECTION	Meets (Y) or Does Not Meet Standard (N)
Mitigation of Visual Impacts	§ 5.50.040(A)	Y
Compatibility of Natural Environment	§ 5.50.040(B)	Y
Conformance with Design Review Guidelines	§ 5.50.040(C)	Y
Compatibility with Neighborhood and Adjacent Development	§ 5.50.040(D)	Y
Compliance with Zoning District	§ 5.50.040(E)	Y
Conformance with General Plan	§ 5.50.040(F)	Y
Design Review Guidelines	§ 5.50.040(G)	Y-See Findings Below

C. Design Review Findings

All Design Review applications are subject to the scope of review as listed in §5.50.040 of the County Zoning Ordinance. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. As this site is located in the -d zone, the provisions of Section 5.50 apply. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The proposed residence is a two-story design, and with materials that includes natural colors and a Light Reflectivity Value (LRV) of 45 or less. The architectural design is similar to the existing architectural style of the home on-site and is compatible with other properties found throughout the neighborhood. The existing property is

screened well from other neighboring properties and adjacent roadways due to existing, mature trees and on-site foliage. No existing vegetation or trees will be removed, with the exception of two (2) small willow trees that are no longer in good health. Existing access and building pad will be used. The grading is minimal and will not create any retaining walls visible toward the valley floor.

2. Compatibility with the natural environment;

The proposed project includes the demolition of a majority of the existing residence, and the construction of a new, larger residence in the same general location. The new residence will be located on the most suitable building pad on the site, with grading of approximately 60 c.y of cut, and 20 c.y. of fill. Tree removal is minimal (proposed removal of 2 dead 6" willow trees) to accommodate more space for the residence. Thus, the proposed residence is designed to be compatible with the natural environment.

3. Conformance with the "Design Review Guidelines," adopted by the Board of Supervisors;

The project complies with the Design Review Guidelines and the project meets all the findings. The bulk of the building has varied roof heights which minimizes the massing of the home. Existing and proposed landscaping (trees, shrubbery) screens the visibility of the residence and retaining walls. Furthermore, Conditions of Approval (Attachment B) ensuring that the project will continue to meet the Design Review Guidelines have been included. For example, the approved exterior colors maintaining a Light Reflectivity Value (LRV) of 45 or less, and outdoor lighting to be not visible from off-site have been included.

4. Compatibility with the neighborhood and adjacent development;

The proposed residence is in keeping with the characteristics of the surrounding neighborhood. The proposed size and architectural design are compatible to adjacent developments. Although the new residence is a two-story structure, the home has been designed to appear as a single-story from the front and two-story appearance from the rear of structure. This provides the visual appearance that the bulk and mass is reduced as seen from the street. The project will not be obtrusive or stand out when compared to the other developed parcels in the immediate vicinity, and will be compatible.

5. Compliance with applicable zoning district regulations; and

Residential use is an allowed use in R1E zoning district, and the project complies with the R1E zoning regulations. The proposed residence is in compliance with required setbacks (30-feet from front, 20 ft. from sides, and 25 ft. from rear) and is proposed to meet the maximum height of 35 ft. The proposed design is also in

keeping with the –d design standards, building massing standards, and exterior colors are conditioned to be less than 45 in LRV.

6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines.

The proposed residence is in conformance with the Town of Los Altos Hills General Plan with the land use designation of Residential. Residential land use designations allow for one single-family dwelling and one secondary dwelling per parcel. The property is not eligible to be annexed to the Town as the property is more than 300 ft. away from the Los Altos Hills jurisdiction. No other specific plan or guidelines are applicable.

BACKGROUND

As previously noted, the subject parcel is one (1) of the eight (8) lots that was approved through a subdivision by the Board of Supervisors in 1993 (County File 433-83S), via Tract No. 7767.

The current property owner submitted the Design Review applications on July 30, 2018, requesting approval to demolish a majority of the existing residence to construct a new 10,928 square-foot 2-story residence in the same general location. After submittal of the new project, pursuant to Section C1-22 of the County Ordinance, the project is considered a “rebuild.”

The applicant resubmitted in November 2018, and the application was subsequently deemed complete on December 10, 2018. A public notice was mailed to all property owners within a 300-foot radius on January 31, 2019 and was also published in the Post Records on January 28, 2019.

The project was initially scheduled on the January 17, 2019 Zoning Administration Meeting. The project was continued for one month to the February 7, 2019 Zoning Administration Meeting because the applicant was not able to meet the 7 day deadline for a storypole construction and inspection due to rainy and windy conditions. No Permit Streamline Act extension is needed, as the scheduled hearing date of February 7, 2019 meets the 60 day time frame from date application was deemed complete (December 10, 2018).

STAFF REPORT REVIEW

Prepared by: Colleen Tsuchimoto, Senior Planner 

Reviewed by: Leza Mikhail, Principal Planner/Zoning Administrator 

County of Santa Clara

Department of Planning and Development
County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110



	Administration	Development Services	Fire Marshal	Planning
Phone:	(408) 299-6740	(408) 299-5700	(408) 299-5760	(408) 299-57
Fax:	(408) 299-6757	(408) 279-8537	(408) 287-9308	(408) 288-9198

Attachment A Statement of Exemption from the California Environmental Quality Act (CEQA)

File Number	APN(s)	Date
11360-18DR	331-24-004	1/8/2019
Project Name	Project Type	
Koo Residence	residential	
Owner	Applicant	
Ann Koo	Queen Foo	
Project Location		
23271 Partridge Lane, Los Altos		
Project Description		
Design Review for the demolition of the existing residence, and a rebuild of a new 10,928 sq. ft. two-story residence in the same general location.		
All development permits processed by the County Planning Office which require discretionary approval must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Certain projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by County Planning Staff under the provisions of CEQA and has been deemed to be exempt from any further environmental review per the provision(s) listed below.		
CEQA (Guidelines) Exemption Section:		
15303 Class 3(a) "New Construction or Conversion of Small Structures"		
Comments:		
Exemption approvable. Project includes construction of new residence with attached garage.		
Prepared by: Colleen A. Tsuchimoto, Senior Planner	 Signature	1/8/19 Date

**ATTACHMENT B
PRELIMINARY DESIGN REVIEW
CONDITIONS OF APPROVAL**

Date: February 7, 2019
 Owner/Applicant: Ann Koo / Queen Foo
 Location: 23271 Partridge Lane., Los Altos, CA (APN: 331-24-004)
 File Number: 11360-18DR
 CEQA: Categorically Exempt - Section 15303, Class 3(a)
 Project Description: Design Review for demolition of a majority of an existing residence, and rebuild of a new 10,928 sq. ft. two-story residence in the same general location.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Colleen Tsuchimoto	(408) 299- 5797	colleen.tsuchimoto@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Fire Marshal	Alex Goff	(408) 299 – 5763	alex.goff@sccfd.org
Geology	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Building Inspection		(408) 299-5700	

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org

Planning

2. Development must take place in accordance with the approved plans, submitted on November 26, 2018, prepared by Q Architects and the Conditions of Approval. Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act, and additional Planning review.
3. Existing zoning is R1E-1Ac-d (One Family Residence Estate with a combined Design Review zone (-d) with minimum lot size of 1 acre). Maintain the following minimum dwelling setbacks:

Front: 30 ft.

Sides: 20 ft.

Rear: 25 ft.

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4. The maximum height of dwellings shall not exceed 35 ft., as measured from lowest finished grade to the highest ridgeline, and shall not exceed two (2) stories.
5. Any increase in grading quantities, or modification to the grading or design, is subject to further review.
6. Two (2) off-street parking spaces are required, one (1) of which shall be covered.
7. Accessory structures are limited to two (2) plumbing fixtures, per Zoning Ordinance Chapter 4.20.020(I) (1). A Special Permit is required for detached structures with more than two (2) plumbing fixtures, along with additional fees and a public hearing.

Environmental Health

8. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE

Planning

9. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
10. **Prior to issuance of a building permit**, submit color samples for the house facade, trim and roof indicating the Light Reflectivity Value is less than or equal to 45 consistent with the approved colors that were submitted for the Design Review approval.
11. **Prior to issuance of a building permit**, submit exterior lighting plan, if exterior lighting is proposed. All lighting on the site shall be designed, controlled and maintained such that no light source is visible from off the property.
12. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

Environmental Health

13. **Prior to issuance of a building permit**, submit a sewer connection permit from the City of Los Altos engineering Department (phone: 650-947-2780). This site is located in a sewer area and therefore a sanitary sewer connection will be required.

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Fire Marshal's Office

14. Title page of building permit plans to state residential fire sprinklers will be a "Deferred Submittal" during Building Permit submittal. The entire home (new and existing) will require residential fire sprinklers.

Geology

15. Final building permit plans shall provide a note stamped that indicates no evidence of faulting is observed by applicant's geologist.

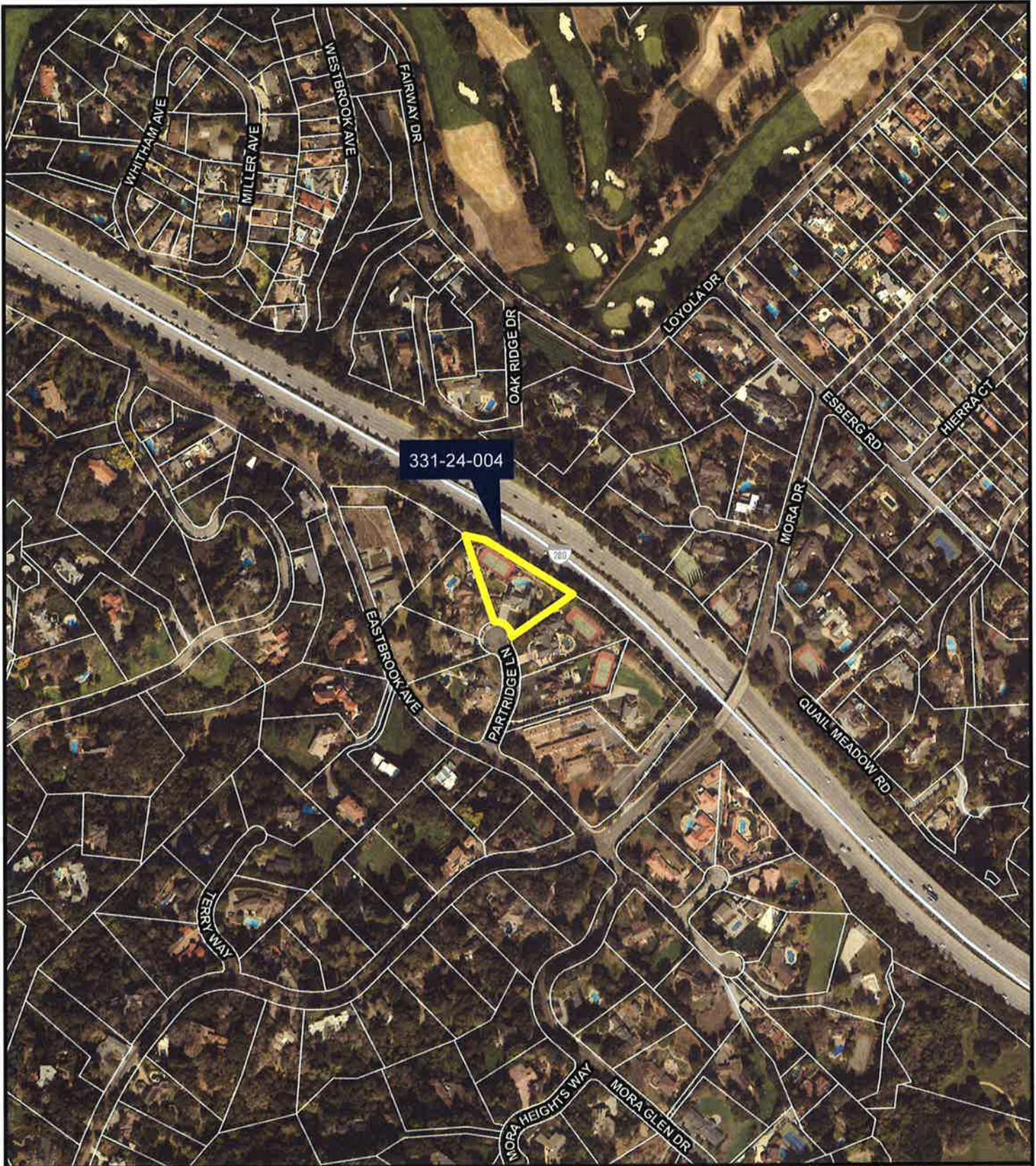
CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY

Planning

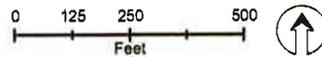
16. **Prior to final inspection**, contact Colleen Tsuchimoto, at least a week in advance to schedule a site visit to verify the approved exterior colors have been installed as approved.

Geology

17. **Prior to final inspection**, submit a geologist's Construction Observation Letter that verifies no evidence of faulting was observed,



Vicinity Map
File No. 11360-18DR
APN 331-24-004



This map created by the Benic Clara County Planning Office. The GIS data was compiled from various sources. While deemed reliable, the Planning Office assumes no liability for errors or omissions. 11/20/2019 9:01:34 AM \\GIS\Reports\11360118DR_Vicinity_Map



Project Location

Attachment C: Vicinity Map



ARCHITECTS

3111 NEW PARK DRIVE, SUITE 101, SAN JOSE, CALIFORNIA 95128
TEL: 415.931.1444 FAX: 415.931.1445



PLANNING SUBMITTAL PARTRIDGE HOUSE REBUILT

23271 PARTRIDGE LANE, LOS ALTOS, CA 94024

PROJECT 23271 PARTRIDGE LANE
LOS ALTOS, CA 94024

SINGLE FAMILY HOME REBUILT
PARTRIDGE HOUSE

PROJECT TEAM	PROJECT DATA	SHEET INDEX	ASSESSOR'S MAP
<p>OWNER AUREL LLC 1855 SAN ANTONIO SANTA ANITA AVENUE, SUITE 100 LOS ALTOS, CA 94024 TEL: 415.931.1444 FAX: 415.931.1445</p> <p>ARCHITECT Q ARCHITECTS 3111 NEW PARK DRIVE, SUITE 101 SAN JOSE, CA 95128 TEL: 415.931.1444 FAX: 415.931.1445</p> <p>DATE NOVEMBER 2015</p> <p>NO ENGINEER SHEET NO. 1 DATE: 11/15/2015 SCALE: AS SHOWN</p>	<p>APPLICABLE CODES UNIFORM BUILDING CODES CALIFORNIA BUILDING CODES CALIFORNIA ELECTRICAL CODES</p> <p>PERMITS REQUIRED REBUILT HOUSE</p> <p>NO. OF STOREYS NO. OF STOREYS: 2 NO. OF STOREYS: 2</p> <p>WALLS & CEILING HEIGHTS WALLS & CEILING HEIGHTS: 8'-0" TO 10'-0"</p> <p>SPRINKLERED SPRINKLERED: NO. OF FULL SPRINKLERED: 0</p> <p>OTHER NOTES OTHER NOTES: NONE</p>	<p>CONTENTS</p> <p>1. TITLE SHEET 2. GENERAL NOTES 3. EXISTING CONDITIONS 4. FOUNDATION 5. FLOOR PLAN 6. ROOF PLAN 7. WALLS & CEILING 8. ELECTRICAL 9. MECHANICAL 10. PLUMBING</p>	
CODES	SCOPE OF WORK	VICINITY MAP	
<p>ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:</p> <ul style="list-style-type: none"> 2015 CALIFORNIA BUILDING CODE 2015 CALIFORNIA ELECTRICAL CODE 2015 CALIFORNIA MECHANICAL CODE 2015 CALIFORNIA PLUMBING CODE 2015 CALIFORNIA FIRE CODE <p>* ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES SHOULD BE REVIEWED AND REGULATIONS AS AMENDED BY THE COUNTY OF SAN JOSE.</p>	<p>REMODEL AND DEMOLISH EXISTING STOREFRONT FULLY RESIDENTIAL HOME REBUILT AS A 2-UNIT RESIDENTIAL BUILDING. REBUILT HOUSE SHALL BE TO BE REBUILT AS A 2-UNIT RESIDENTIAL BUILDING. REBUILT HOUSE SHALL BE REBUILT AS A 2-UNIT RESIDENTIAL BUILDING.</p> <p>SCOPE OF WORK INCLUDES THE FOLLOWING:</p> <ol style="list-style-type: none"> DEMOLITION FOUNDATION FLOOR PLAN ROOF PLAN WALLS & CEILING ELECTRICAL MECHANICAL PLUMBING <p>CONSTRUCTION</p> <ol style="list-style-type: none"> DEMOLITION FOUNDATION FLOOR PLAN ROOF PLAN WALLS & CEILING ELECTRICAL MECHANICAL PLUMBING <p>NOTES</p> <ol style="list-style-type: none"> DEMOLITION FOUNDATION FLOOR PLAN ROOF PLAN WALLS & CEILING ELECTRICAL MECHANICAL PLUMBING 		<p>NO. FOR CONSTRUCTION</p> <p>DATE: JULY 1, 2018 SCALE: PROJECT NO.: 201801</p> <p>COVER SHEET</p> <p>SHEET TITLE: A0.0</p> <p>SHEET NO.:</p>



ARCHITECTS

480 ALBERTA DR., GLENVIEW, CA 94024
TEL: 650.225.1488 FAX: 650.225.1489



PROJECT 23271 PARTRIDGE LANE
LOS ALTOS, CA 94024

SINGLE FAMILY HOME REBUILT
PARTRIDGE HOUSE

SUBMITTAL	DESCRIPTION
DATE	
07.25.2015	PLANNING SUBMITTAL
11.18.2015	PLANNING BACK-CHECK
11.18.2015	PLANNING BACK-CHECK-REV

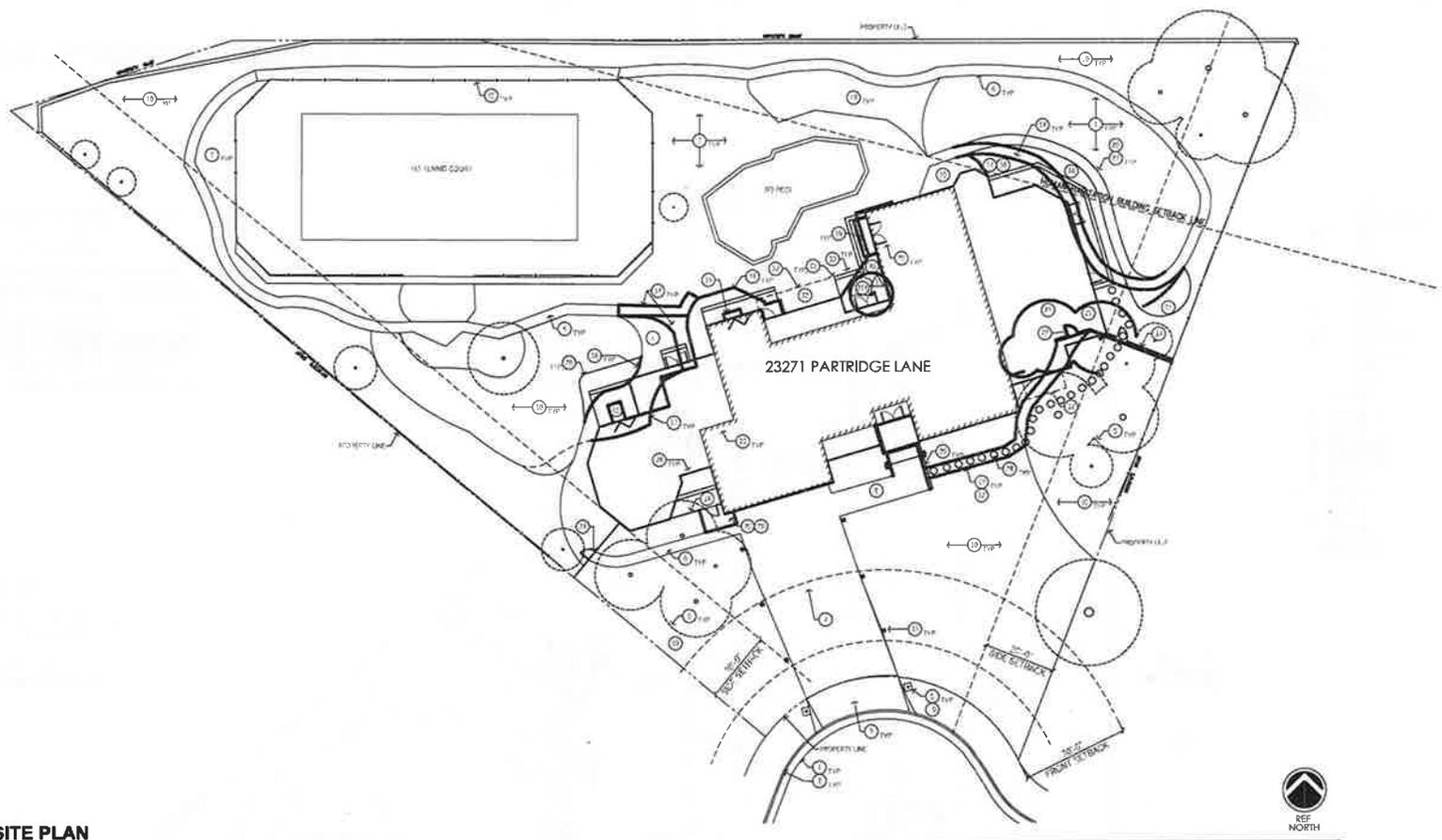
DATE	JULY 1, 2018
SCALE	
PROJECT NO.	201801

SITE PLAN

SHEET TITLE

AS1.1

SHEET NO.



1. SITE PLAN

SCALE: 1" = 15'-0"



GENERAL NOTES

- 1. REFER TO THE FOLLOWING:
 - 1. SHEET 001 (GENERAL NOTES) & SHEET 002 (LANDSCAPE PLAN)
 - 2. SHEET 003 (SITE PLAN)
 - 3. SHEET 004 (1st FLOOR PLAN)
 - 4. SHEET 005 (2nd FLOOR PLAN)
 - 5. SHEET 006 (3D EXTERIOR RENDERING)
 - 6. SHEET 007 (2D EXTERIOR RENDERING)
 - 7. SHEET 008 (LANDSCAPE PLAN)
- 2. ALL DIMENSIONS ARE TO THE CENTER OF THE FINISHED SURFACE UNLESS OTHERWISE NOTED.

KEYNOTES

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NOT FOR CONSTRUCTION



ARCHITECTS

3201 BAY STREET, SAN FRANCISCO, CA 94134
PHONE: (415) 440-2000 FAX: (415) 440-2001



PROJECT 23271 PARTRIDGE LANE
LOS ALTOS, CA 94024

SINGLE FAMILY HOME REBUILT
PARTRIDGE HOUSE

SUBMITTAL	DESCRIPTION
DATE	
07.28.2015	PLANNING SUBMITTAL
11.18.2015	PLANNING BACK-CHECK

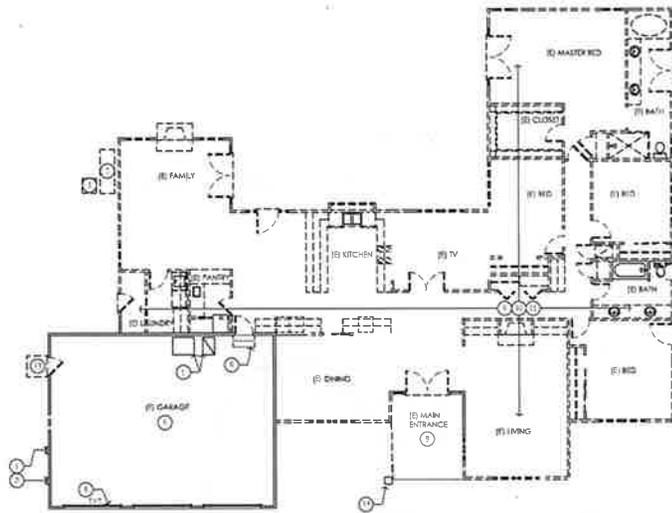
DATE	JULY 1, 2018
SCALE	
PROJECT NO.	201801

DEMOLITION PLANS

SHEET TITLE

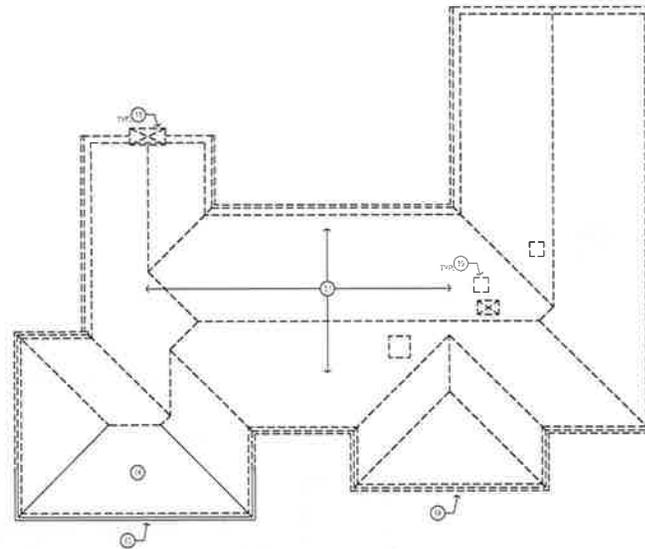
SHEET NO. **AD1.1**

NOT FOR CONSTRUCTION



1. DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



1. DEMOLITION ROOF PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

1. REFER TO THE FOLLOWING:
 1. SHEET #01 FOR OWNER'S NOTES, SYMBOLS AND ABBREVIATIONS
 2. SHEET #03 FOR FIRST & SECOND FLOOR PLANS
 3. SHEET #04 FOR ROOF PLAN

2. CONSULT THE OWNER TO VERIFY ALL ITEMS TO BE DEMOLISHED TO BE SATISFACTORILY DEMOLISHED.

KEYNOTES

1. (E) SHOWN WITH DASHED LINE
 2. (R) SHOWN WITH SOLID LINE
 3. (C) PSD, COUPLES AT TO PLUMB
 4. (E) HALLWAY DOORS TO REMAIN
 5. (E) H. ROOF EQUIPMENT TO REMAIN
 6. (E) TO CLIMB UP TO ROOF TO DEMOLISH WITH "SHIPT" ALL FIRST FLOOR PLAN
 7. (E) TO CLIMB UP TO ROOF TO DEMOLISH WITH "SHIPT" ALL FIRST FLOOR PLAN
 8. (E) TO CLIMB UP TO ROOF TO DEMOLISH WITH "SHIPT" ALL FIRST FLOOR PLAN
 9. (E) TO CLIMB UP TO ROOF TO DEMOLISH WITH "SHIPT" ALL FIRST FLOOR PLAN
 10. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 11. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 12. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 13. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 14. PORTION OF (E) GUTTER SYSTEM & FACIA TO REMAIN, COORDINATE WITH SHEET #01 ROOF PLAN & SHEET #02 ROOF PLAN
 15. PORTION OF (E) GUTTER SYSTEM & FACIA TO REMAIN, COORDINATE WITH SHEET #01 ROOF PLAN & SHEET #02 ROOF PLAN
 16. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 17. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 18. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 19. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN
 20. REMOVE (E) ALL OF FINISHES, (E) FLOOR STRUCTURE (E) WORK IS FEASIBLE TO ORNATE W/ SHEET #01 FIRST FLOOR PLAN

LEGEND

==== (E) EXTERIOR CEMENT PLASTER WOOD STUD WALL / (E) INTERIOR CIV. BR. OR WOOD STUD WALL TO REMAIN

===== REMOVE (E) EXTERIOR / INTERIOR WALL IN ITS ENTIRETY INCLUDING ANY WALL MOLDING, WALL BASE, ELECTRICAL OUTLET & SWITCH ON THE WALL.

--- (E) REMOVE ALL (E) EGOR AND FRAMES. CONSULT OWNER FOR THE POSSIBILITY OF SAVING (E) DOOR FOR RE-USE

--- (E) REMOVE ALL (E) WINDOW. CONSULT OWNER FOR THE POSSIBILITY OF SAVING (E) WINDOW FOR RE-USE.



ARCHITECTS

100 SERRA WAY, SUITE 100, LOS ALTOS, CA 94024
TEL: 650.941.1100 FAX: 650.941.1101



PROJECT 23271 PARTRIDGE LANE
LOS ALTOS, CA 94024

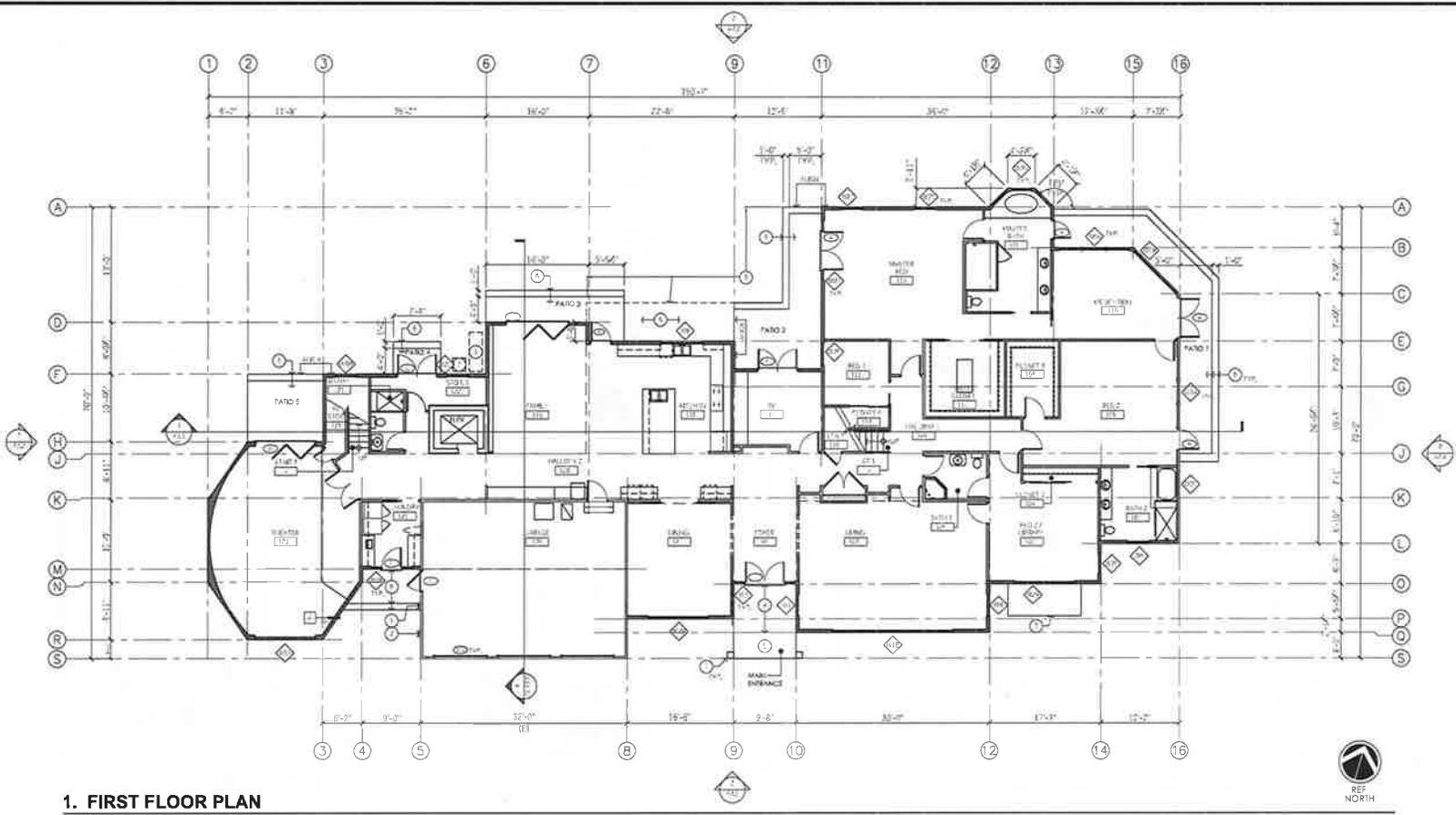
SINGLE FAMILY HOME RESULT
PARTRIDGE HOUSE

SUBMITTAL	DESCRIPTION
DATE	
07.25.2015	PLANNING SUBMITTAL
08.18.2015	PLANNING BACK-LOG
08.18.2015	PLANNING BACK-CHECK-REV

DATE	JULY 1, 2016
SCALE	
PROJECT NO.	201501

FIRST FLOOR PLAN

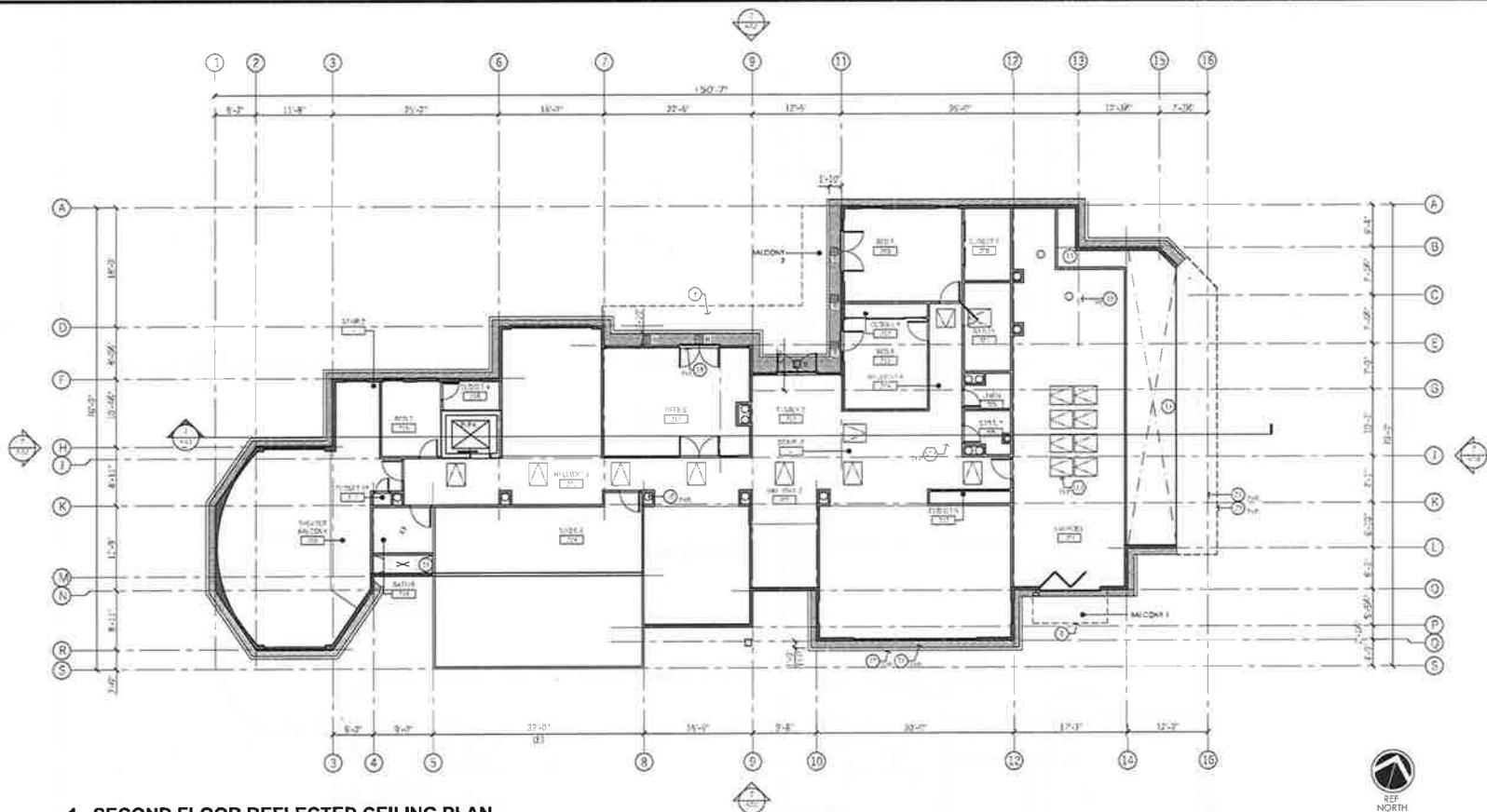
SHEET TITLE
A1.1
SHEET NO.



1. FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES	KEYNOTES	EXTERIOR DOOR SCHEDULE	EXTERIOR WINDOW SCHEDULE	LEGEND
<p>1. REFER TO THE FOLLOWING:</p> <ul style="list-style-type: none"> A. SHEET #11 FOR FOUNDATION, WALLS, SILLING AND TERRACING. B. SHEET #12 FOR ROOFING AND PLAN. C. SHEET #13 FOR SECOND FLOOR PLAN. D. SHEET #14 FOR STAIRS AND HALLS. E. SHEET #15 FOR SECOND FLOOR PLAN. F. SHEET #16 FOR STAIRS AND HALLS. G. SHEET #17 FOR STAIRS AND HALLS. H. SHEET #18 FOR STAIRS AND HALLS. I. SHEET #19 FOR STAIRS AND HALLS. J. SHEET #20 FOR STAIRS AND HALLS. <p>2. ALL DOOR AND WINDOW SCHEDULES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.</p>	<p>1. 1/2" x 4" x 8" STUDS @ 16" O.C.</p> <p>2. 1/2" x 6" x 8" STUDS @ 16" O.C.</p> <p>3. 1/2" x 8" x 8" STUDS @ 16" O.C.</p> <p>4. 1/2" x 10" x 8" STUDS @ 16" O.C.</p> <p>5. 1/2" x 12" x 8" STUDS @ 16" O.C.</p> <p>6. 1/2" x 14" x 8" STUDS @ 16" O.C.</p> <p>7. 1/2" x 16" x 8" STUDS @ 16" O.C.</p> <p>8. 1/2" x 18" x 8" STUDS @ 16" O.C.</p> <p>9. 1/2" x 20" x 8" STUDS @ 16" O.C.</p> <p>10. 1/2" x 22" x 8" STUDS @ 16" O.C.</p> <p>11. 1/2" x 24" x 8" STUDS @ 16" O.C.</p> <p>12. 1/2" x 26" x 8" STUDS @ 16" O.C.</p> <p>13. 1/2" x 28" x 8" STUDS @ 16" O.C.</p> <p>14. 1/2" x 30" x 8" STUDS @ 16" O.C.</p> <p>15. 1/2" x 32" x 8" STUDS @ 16" O.C.</p> <p>16. 1/2" x 34" x 8" STUDS @ 16" O.C.</p> <p>17. 1/2" x 36" x 8" STUDS @ 16" O.C.</p> <p>18. 1/2" x 38" x 8" STUDS @ 16" O.C.</p> <p>19. 1/2" x 40" x 8" STUDS @ 16" O.C.</p> <p>20. 1/2" x 42" x 8" STUDS @ 16" O.C.</p>	<p>1. 1/2" x 4" x 8" STUDS @ 16" O.C.</p> <p>2. 1/2" x 6" x 8" STUDS @ 16" O.C.</p> <p>3. 1/2" x 8" x 8" STUDS @ 16" O.C.</p> <p>4. 1/2" x 10" x 8" STUDS @ 16" O.C.</p> <p>5. 1/2" x 12" x 8" STUDS @ 16" O.C.</p> <p>6. 1/2" x 14" x 8" STUDS @ 16" O.C.</p> <p>7. 1/2" x 16" x 8" STUDS @ 16" O.C.</p> <p>8. 1/2" x 18" x 8" STUDS @ 16" O.C.</p> <p>9. 1/2" x 20" x 8" STUDS @ 16" O.C.</p> <p>10. 1/2" x 22" x 8" STUDS @ 16" O.C.</p> <p>11. 1/2" x 24" x 8" STUDS @ 16" O.C.</p> <p>12. 1/2" x 26" x 8" STUDS @ 16" O.C.</p> <p>13. 1/2" x 28" x 8" STUDS @ 16" O.C.</p> <p>14. 1/2" x 30" x 8" STUDS @ 16" O.C.</p> <p>15. 1/2" x 32" x 8" STUDS @ 16" O.C.</p> <p>16. 1/2" x 34" x 8" STUDS @ 16" O.C.</p> <p>17. 1/2" x 36" x 8" STUDS @ 16" O.C.</p> <p>18. 1/2" x 38" x 8" STUDS @ 16" O.C.</p> <p>19. 1/2" x 40" x 8" STUDS @ 16" O.C.</p> <p>20. 1/2" x 42" x 8" STUDS @ 16" O.C.</p>	<p>1. 1/2" x 4" x 8" STUDS @ 16" O.C.</p> <p>2. 1/2" x 6" x 8" STUDS @ 16" O.C.</p> <p>3. 1/2" x 8" x 8" STUDS @ 16" O.C.</p> <p>4. 1/2" x 10" x 8" STUDS @ 16" O.C.</p> <p>5. 1/2" x 12" x 8" STUDS @ 16" O.C.</p> <p>6. 1/2" x 14" x 8" STUDS @ 16" O.C.</p> <p>7. 1/2" x 16" x 8" STUDS @ 16" O.C.</p> <p>8. 1/2" x 18" x 8" STUDS @ 16" O.C.</p> <p>9. 1/2" x 20" x 8" STUDS @ 16" O.C.</p> <p>10. 1/2" x 22" x 8" STUDS @ 16" O.C.</p> <p>11. 1/2" x 24" x 8" STUDS @ 16" O.C.</p> <p>12. 1/2" x 26" x 8" STUDS @ 16" O.C.</p> <p>13. 1/2" x 28" x 8" STUDS @ 16" O.C.</p> <p>14. 1/2" x 30" x 8" STUDS @ 16" O.C.</p> <p>15. 1/2" x 32" x 8" STUDS @ 16" O.C.</p> <p>16. 1/2" x 34" x 8" STUDS @ 16" O.C.</p> <p>17. 1/2" x 36" x 8" STUDS @ 16" O.C.</p> <p>18. 1/2" x 38" x 8" STUDS @ 16" O.C.</p> <p>19. 1/2" x 40" x 8" STUDS @ 16" O.C.</p> <p>20. 1/2" x 42" x 8" STUDS @ 16" O.C.</p>	<p>1. 1/2" x 4" x 8" STUDS @ 16" O.C.</p> <p>2. 1/2" x 6" x 8" STUDS @ 16" O.C.</p> <p>3. 1/2" x 8" x 8" STUDS @ 16" O.C.</p> <p>4. 1/2" x 10" x 8" STUDS @ 16" O.C.</p> <p>5. 1/2" x 12" x 8" STUDS @ 16" O.C.</p> <p>6. 1/2" x 14" x 8" STUDS @ 16" O.C.</p> <p>7. 1/2" x 16" x 8" STUDS @ 16" O.C.</p> <p>8. 1/2" x 18" x 8" STUDS @ 16" O.C.</p> <p>9. 1/2" x 20" x 8" STUDS @ 16" O.C.</p> <p>10. 1/2" x 22" x 8" STUDS @ 16" O.C.</p> <p>11. 1/2" x 24" x 8" STUDS @ 16" O.C.</p> <p>12. 1/2" x 26" x 8" STUDS @ 16" O.C.</p> <p>13. 1/2" x 28" x 8" STUDS @ 16" O.C.</p> <p>14. 1/2" x 30" x 8" STUDS @ 16" O.C.</p> <p>15. 1/2" x 32" x 8" STUDS @ 16" O.C.</p> <p>16. 1/2" x 34" x 8" STUDS @ 16" O.C.</p> <p>17. 1/2" x 36" x 8" STUDS @ 16" O.C.</p> <p>18. 1/2" x 38" x 8" STUDS @ 16" O.C.</p> <p>19. 1/2" x 40" x 8" STUDS @ 16" O.C.</p> <p>20. 1/2" x 42" x 8" STUDS @ 16" O.C.</p>

NOT FOR CONSTRUCTION



1. SECOND FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES	KEYNOTES ○	KEYNOTES	KEYNOTES
<p>A. REFER TO THE FOLLOWING:</p> <ol style="list-style-type: none"> SHEET #82 FOR ARCHITECT'S NOTES, EXPRESS AND HIDDEN WORK. SHEET #83 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #84 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #85 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #86 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #87 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #88 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #89 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #90 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #91 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #92 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #93 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #94 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #95 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #96 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #97 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #98 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #99 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. SHEET #100 FOR FINISHES, NOTES, EXPRESS AND HIDDEN WORK. <p>B. ALL FINISHES ARE TO THE FINISH FACE OF WOOD, METAL OR FACTORY APPLIED CONCRETE UNLESS NOTED OTHERWISE.</p>	<ol style="list-style-type: none"> 1. 100' USED. 2. 100' USED. 3. 100' USED. 4. 100' USED. 5. 100' USED. 6. 100' USED. 7. 100' USED. 8. 100' USED. 9. 100' USED. 10. 100' USED. 11. 100' USED. 12. 100' USED. 13. 100' USED. 14. 100' USED. 15. 100' USED. 16. 100' USED. 17. 100' USED. 18. 100' USED. 19. 100' USED. 20. 100' USED. 21. 100' USED. 22. 100' USED. 23. 100' USED. 24. 100' USED. 25. 100' USED. 26. 100' USED. 27. 100' USED. 28. 100' USED. 29. 100' USED. 30. 100' USED. 31. 100' USED. 32. 100' USED. 33. 100' USED. 34. 100' USED. 35. 100' USED. 36. 100' USED. 37. 100' USED. 38. 100' USED. 39. 100' USED. 40. 100' USED. 41. 100' USED. 42. 100' USED. 43. 100' USED. 44. 100' USED. 45. 100' USED. 46. 100' USED. 47. 100' USED. 48. 100' USED. 49. 100' USED. 50. 100' USED. 51. 100' USED. 52. 100' USED. 53. 100' USED. 54. 100' USED. 55. 100' USED. 56. 100' USED. 57. 100' USED. 58. 100' USED. 59. 100' USED. 60. 100' USED. 61. 100' USED. 62. 100' USED. 63. 100' USED. 64. 100' USED. 65. 100' USED. 66. 100' USED. 67. 100' USED. 68. 100' USED. 69. 100' USED. 70. 100' USED. 71. 100' USED. 72. 100' USED. 73. 100' USED. 74. 100' USED. 75. 100' USED. 76. 100' USED. 77. 100' USED. 78. 100' USED. 79. 100' USED. 80. 100' USED. 81. 100' USED. 82. 100' USED. 83. 100' USED. 84. 100' USED. 85. 100' USED. 86. 100' USED. 87. 100' USED. 88. 100' USED. 89. 100' USED. 90. 100' USED. 91. 100' USED. 92. 100' USED. 93. 100' USED. 94. 100' USED. 95. 100' USED. 96. 100' USED. 97. 100' USED. 98. 100' USED. 99. 100' USED. 100. 100' USED. 	<ol style="list-style-type: none"> 1. INTERIOR PAINT #1 GENERAL MANUFACTURE: TICI COLOR: BEAR FINISH: SHEAR SHEAR 2. INTERIOR PAINT #1 ROOF WOOD/PAINT/STAIN MANUFACTURE: TICI COLOR: BEAR FINISH: SHEAR SHEAR 3. INTERIOR PAINT #1 CLUTTER & TERRAZZO MANUFACTURE: TICI COLOR: BEAR FINISH: SHEAR SHEAR 	<ol style="list-style-type: none"> 1. SOLAR TUBE #1 ROOF MANUFACTURE: APPROVED EQUAL TYPE: TICI SIZE: 10" / 10" DIAMETER (RIG) 2. WOOD GRASS #1 PRODUCT: WYFONOR FINISH: BARN GREEN STAINING TERRAZZO CLEAR SEALER COLOR: TICI MATERIAL: WYFONOR FASTENER: STAINLESS STEEL BARN GREEN WOOD STAINING SYSTEM WARRANTY: 5 YEAR / 50,000 GALS JULIANTECH/CLIP MANUFACTURE: APPROVED EQUAL FINISH: BEAR MATERIAL: TICI

NOT FOR CONSTRUCTION

PROJECT: 23271 PARTRIDGE LANE
 LOS ALTOS, CA 94024

PARTRIDGE HOUSE

SUBMITTAL	DESCRIPTION
DATE: 08/28/18	PLANNING SUBMITTAL
DATE: 11/15/2015	PLANNING BACK-CHECK

DATE: JULY 1, 2018
 SCALE:
 PROJECT NO.: 201801

SECOND FLOOR REFLECTED CEILING PLAN

SHEET TITLE:
AC1.2
 SHEET NO.:



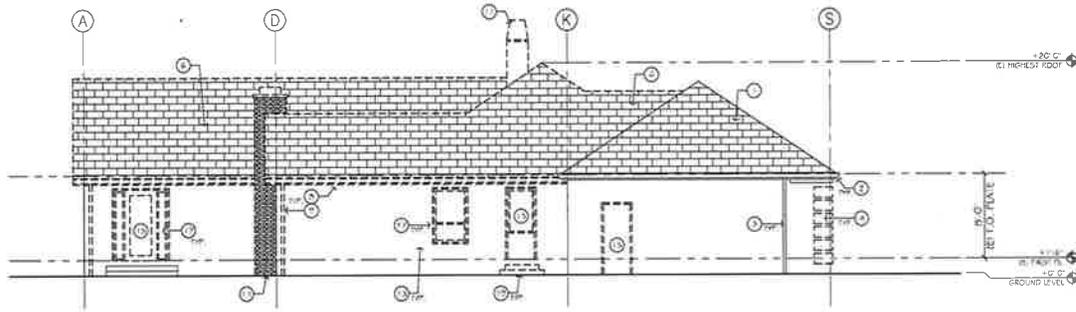
ARCHITECTS

2001 BAY AREA AVENUE, SUITE 100
SAN FRANCISCO, CA 94134



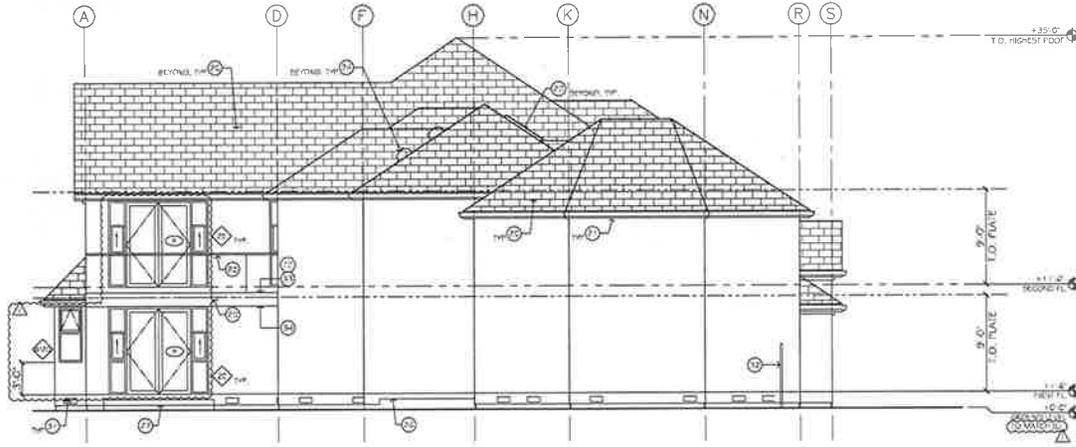
1. (E) WEST ELEVATION

SCALE: 3/16" = 1'-0"



2. PROPOSED WEST ELEVATION

SCALE: 3/16" = 1'-0"



GENERAL NOTES	KEYNOTES	EXTERIOR DOOR SCHEDULE	EXTERIOR WINDOW SCHEDULE	FINISH LEGEND / SPECIFICATION
<p>1. REFER TO THE FOLLOWING:</p> <p>1. SHEET #01 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS</p> <p>2. SHEET #02 FOR FLOOR PLAN</p> <p>3. SHEET #03 AND #04 FOR FLOOR PLANS</p> <p>4. SHEET #05 FOR ROOF PLAN</p> <p>5. SHEET #06 & #07 FOR FLEETED CEILING PLANS</p> <p>6. SHEET #08 AND #09 FOR FINISH PLANS</p> <p>7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE</p> <p>8. FINISH TO ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>9. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>10. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>11. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>12. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>13. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>14. PROVIDE ALL EXTERIOR WALLS, SILLINGS & TRAIL SPACES UNLESS NOTED OTHERWISE</p> <p>15. 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EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>9. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>10. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>11. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>12. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>13. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>14. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>15. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>16. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>17. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>18. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>19. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p> <p>20. EXTERIOR WALLS TO BE FINISHED WITH THE FOLLOWING:</p>	<p>1. EXTERIOR DOOR SCHEDULE</p> <p>1. EXTERIOR DOOR SCHEDULE</p> <p>2. EXTERIOR DOOR SCHEDULE</p> <p>3. EXTERIOR DOOR SCHEDULE</p> <p>4. EXTERIOR DOOR SCHEDULE</p> <p>5. EXTERIOR DOOR SCHEDULE</p> <p>6. 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NOT FOR CONSTRUCTION

PROJECT: 23271 PARTRIDGE LANE
LOS ALTOS, CA 94024

PARTRIDGE HOUSE

SUBMITTAL	DESCRIPTION
DATE: 07.25.2014	PLANNING SUBMITTAL
DATE: 11.19.2014	PLANNING BACK-CHECK
DATE: 11.19.2014	PLANNING BACK-CHECK REV

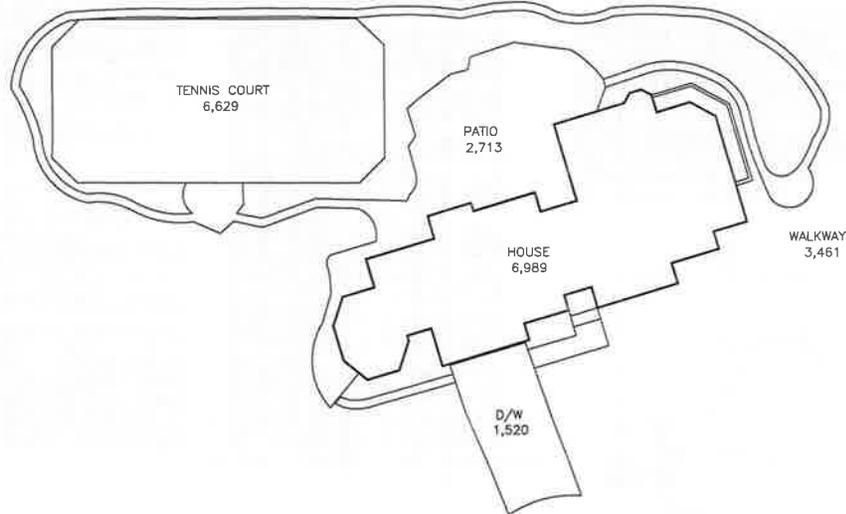
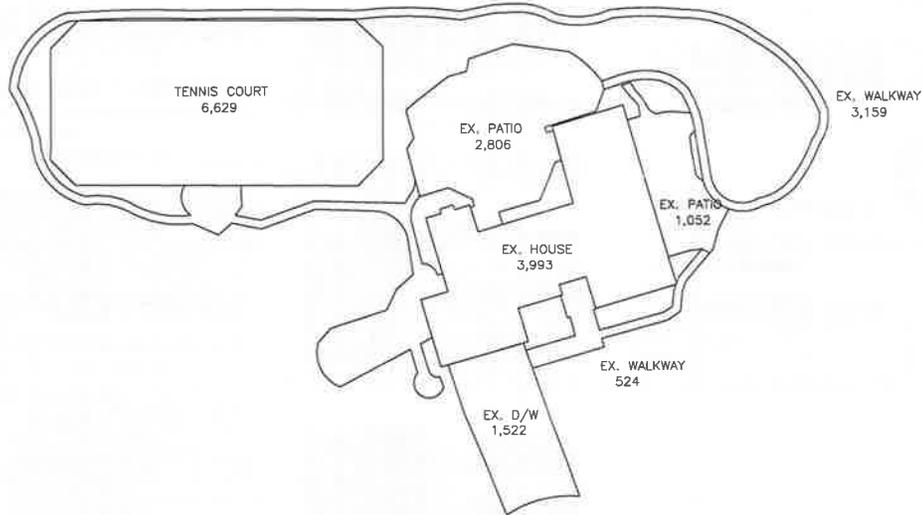
DATE: JULY 1, 2016
SCALE:
PROJECT NO: 201601

WEST ELEVATIONS

SHEET TITLE

A2.2

SHEET NO.



ON-SITE IMPERVIOUS AREAS:

PRE-DEVELOPMENT		
BUILDING	3,993	SQ. FT.
DRIVEWAY	1,520	SQ. FT.
PATIO	3,858	SQ. FT.
WALKWAY	3,863	SQ. FT.
TENNIS COURT	6,629	SQ. FT.
TOTAL	19,863	SQ. FT.
POST-DEVELOPMENT		
BUILDING	6,989	SQ. FT.
DRIVEWAY	1,520	SQ. FT.
PATIO	3,354	SQ. FT.
WALKWAY	3,461	SQ. FT.
TENNIS COURT	6,629	SQ. FT.
TOTAL	21,953	SQ. FT.
NET CHANGE	+2,270	SQ. FT.



RW RW ENGINEERING, INC.
505 ALTAMONT DRIVE
MILPITAS, CA 95035
(408) 262-1899
(408) 824-6566 (FAX)

GRADING & DRAINAGE PLAN
23271 PATRIDGE LANE
LOS ALTOS, CA

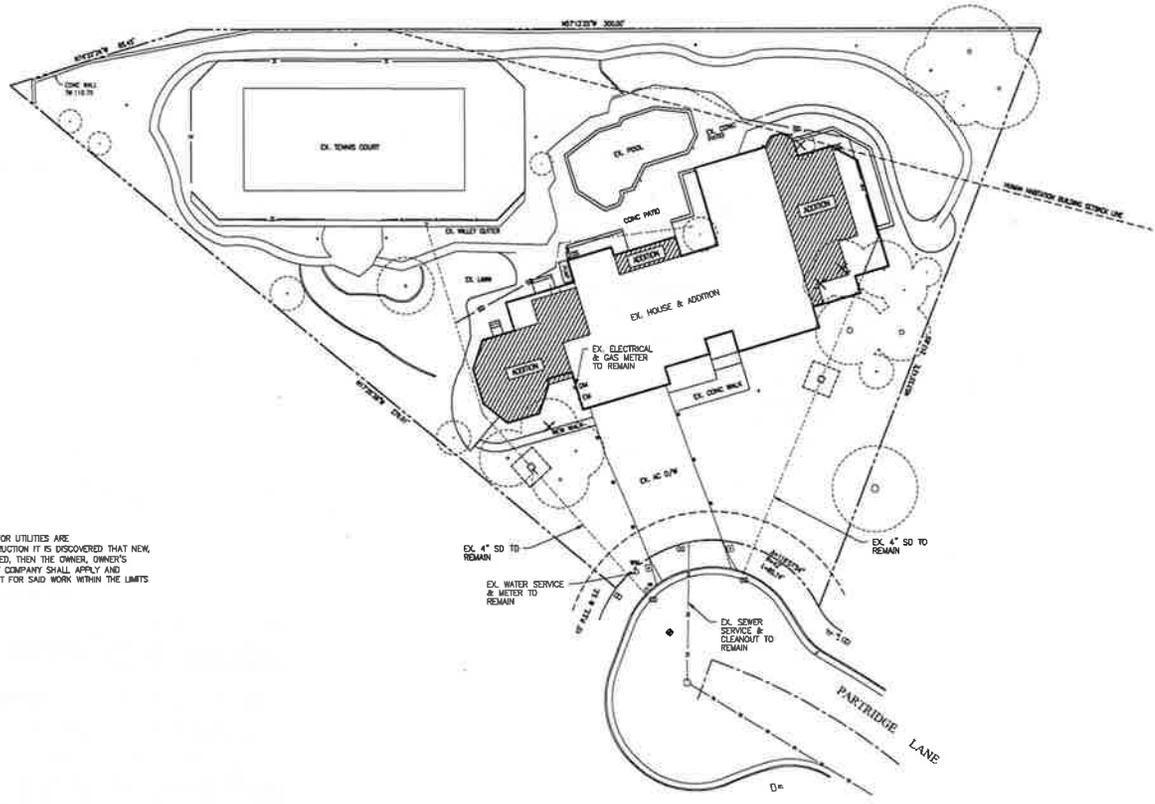
IMPERVIOUS SURFACE AREA BREAKDOWN

NO.	REVISION	DATE	DATE 11/21/18 SCALE AS NOTED DESIGNED BY: RW DRAWN BY: RW	SHEET 2 OF 7

COUNTY FILE NO.:



- NOTE:
1. CONTRACTOR SHALL VERIFY PAD ELEVATIONS WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS TO MATCH AS NECESSARY.
 2. LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.



UTILITY CLARIFICATION:

1. NO NEW REPLACEMENT AND/OR UPGRADE FOR UTILITIES ARE REQUIRED/ANTICIPATED. IF DURING CONSTRUCTION IT IS DISCOVERED THAT NEW REPLACEMENT AND/OR UPGRADE IS REQUIRED, THEN THE OWNER, OWNER'S CONTRACTOR AND/OR THE SPECIFIC UTILITY COMPANY SHALL APPLY AND OBTAIN A SEPARATE ENCROACHMENT PERMIT FOR SAID WORK WITHIN THE LIMITS OF THE ROW FROM ROADS AND AIRPORTS.

		RW RW ENGINEERING, INC. 505 ALAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 (408) 824-5586 (FAX)	
		GRADING & DRAINAGE PLAN 23271 PATRIDGE LANE LOS ALTOS, CA	
		UTILITY PLAN	
NO.	REVISION	DATE	DATE: 1/11/13 SCALE: AS NOTED DESIGNED BY: RW DRAWN BY: RW
			SHEET 5 OF 7



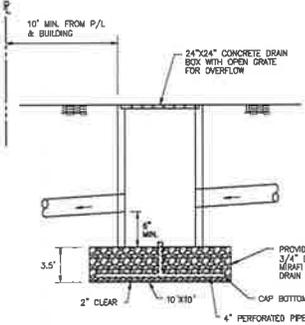
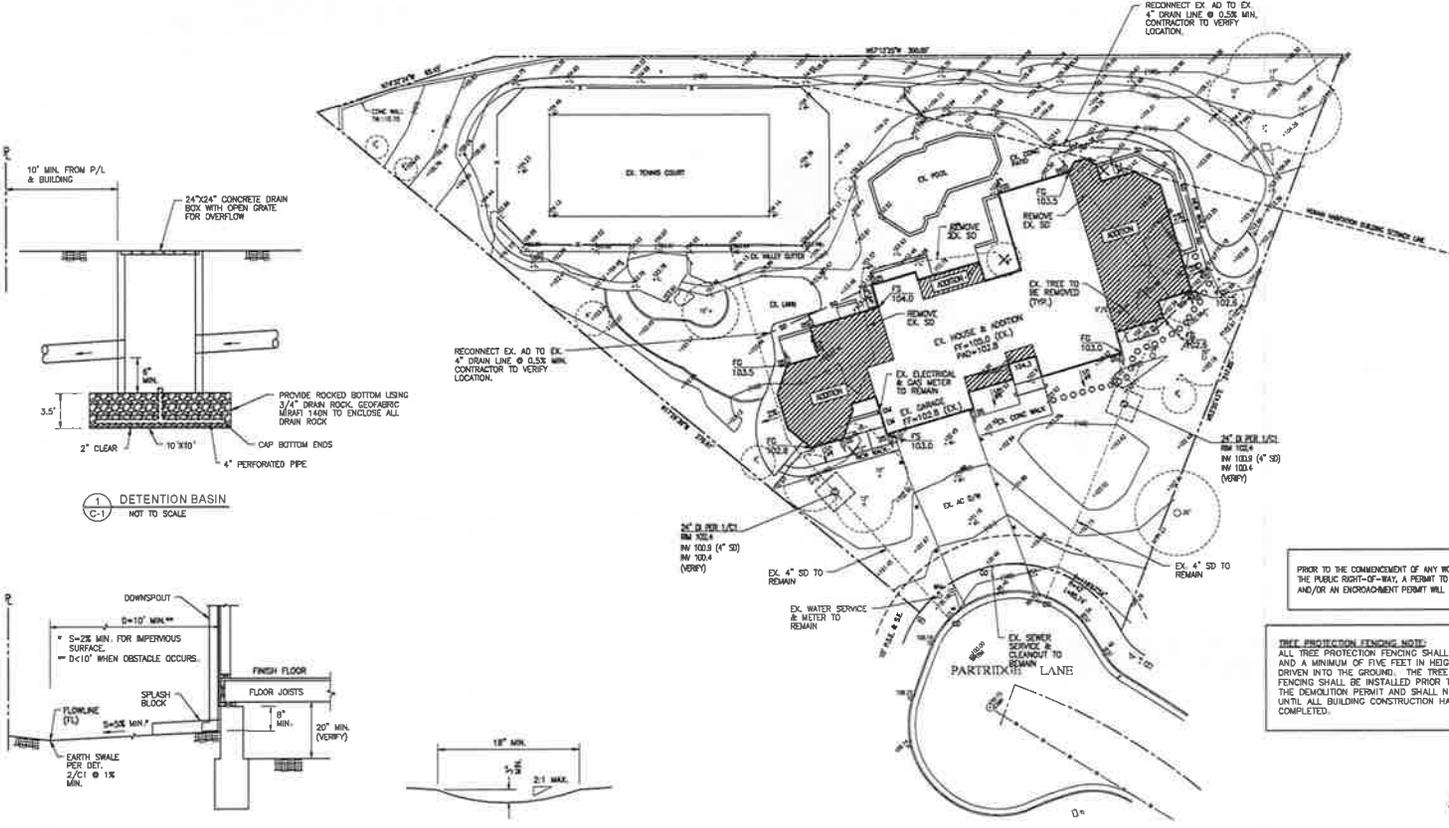
COUNTY FILE NO.:

- 1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARDS, SPECIFICATIONS, AND REQUIREMENTS OF THE CITY OF LOS ALTOS.**
- 2. THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL AND MAINTAIN ALL SAFETY DEVICES INCLUDING SIGNING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL, SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.**
- 3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL ZONE/CROSSING LOCATIONS, ELEVATIONS, CURBS, CUTTERS, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE DETAILS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.**
- 4. CONTRACTOR TO EXPOSE EXISTING SERVICES AND CHECK MARKETS BEFORE CONSTRUCTING NEW SERVICES. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SERVICES.**
- 5. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREIN WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREIN.**
- 6. THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.**
- 7. GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THEREON. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.**
- 8. PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPES SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPES ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.**
- 9. THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET FROM THE EXISTING FINISHED GRADES SHALL BE INSTALLED WITH A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR AND SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADE, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE CHANNELS SHALL HAVE A MINIMUM SLOPE OF 1% MAXIMUM GRADED SLOPE TO 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL INDICATE ACTUAL GRADES. SURFACE SLOPE GRADIENTS NOTED ON THE PLAN ARE APPROXIMATE.**
- 10. FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS, SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.**
- 11. SEE ARCHITECTURAL, SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.**

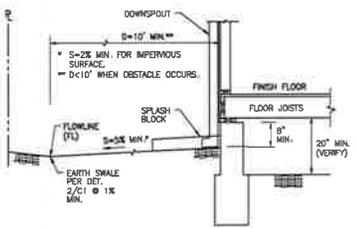


- NOTE:**
- CONTRACTOR SHALL VERIFY PAD ELEVATIONS WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS TO MATCH AS NECESSARY.
 - LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.

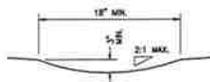
- PROPERTY LINE**
- CENTERLINE**
- SS UTILITY LINE-TYPE AS NOTED
 - STREET LIGHT
 - ELEC UTILITY BOX-TYPE AS NOTED
 - WM WATER METER
 - D-4 WV WATER VALVE
 - CD CURB CATCH BASIN
 - +O+ FIRE HYDRANT
 - MH MANHOLE-TYPE AS NOTED
 - CO SANITARY SEWER CLEANOUT
 - PP PUNKER POLE W/ OVERHEAD WIRE
 - OH SEIKOMARK
 - MON MONUMENT
 - ZOO CONTOUR LINE
 - 1" SLOPE @ 15' MIN. (U.O.A.)
 - SURFACE FLOW DIRECTION
 - DOWNSPOUT WITH SPLASH-BLOCK
 - 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- ABBREVIATION**
- AC ASPHALT CONCRETE
 - AD AREA DRAIN
 - CONC CONCRETE
 - C/C CURB & GUTTER
 - DI DRAIN INLET
 - DS DOWNSPOUT
 - EX EXISTING
 - OFF GARAGE FINISH GRADE
 - FF FINISH FLOOR GRADE
 - FL FLOW LINE GRADE
 - PUE PUBLIC UTILITY CASEMENT
 - PVC POLYVINYL CHLORIDE
 - SH SIDEWALK
 - TC TOP OF CURB



1 DETENTION BASIN
NOT TO SCALE



2 TYPICAL GRADING AROUND FOUNDATION
NOT TO SCALE



3 SWALE
NOT TO SCALE

PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

TREE PROTECTION FENCING NOTE:
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

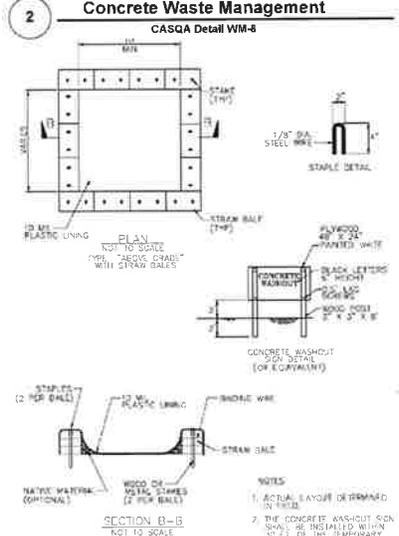
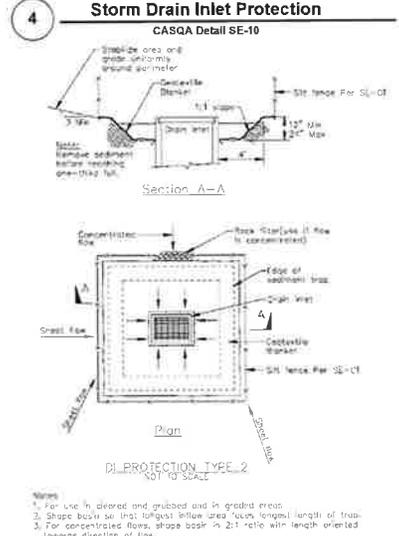
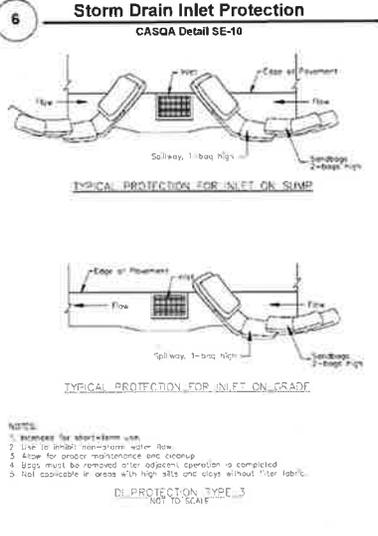
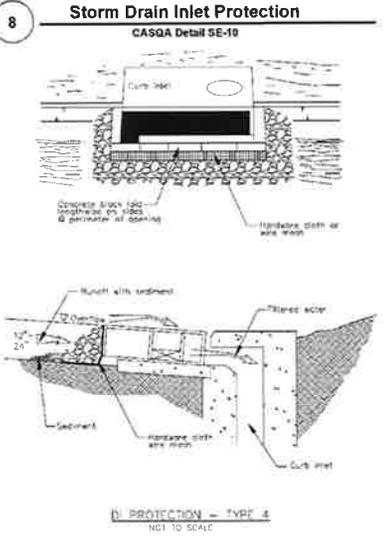
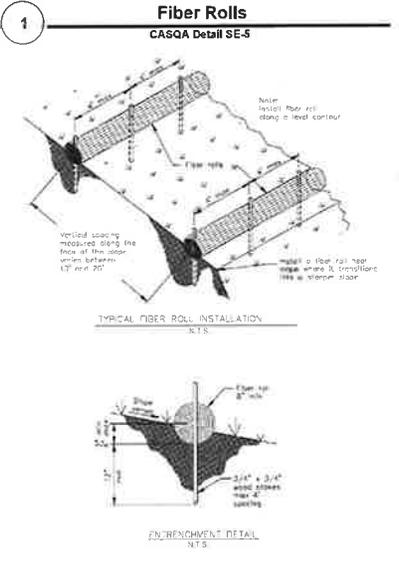
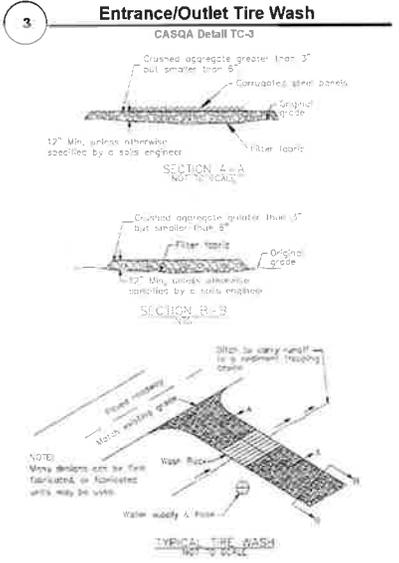
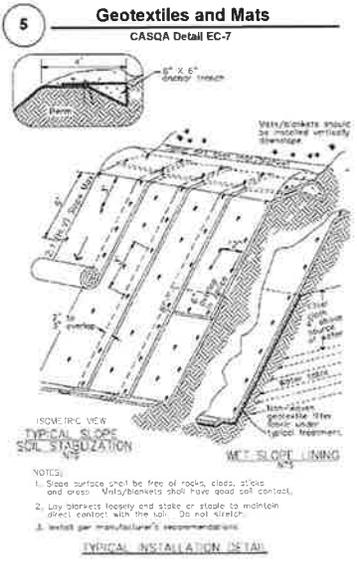
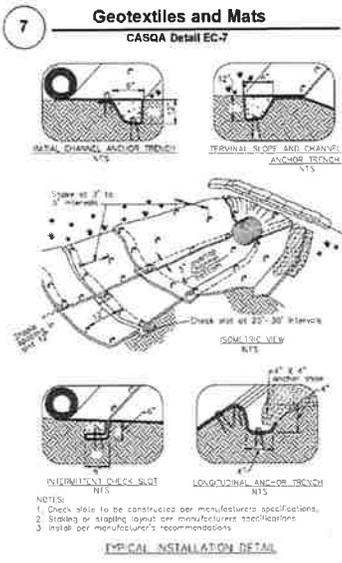


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GRADING & DRAINAGE PLAN
23271 PATRIDGE LANE
LOS ALTOS, CA

NO.	REVISION	DATE	DATE FURTHER SCALE AS NOTED	SHEET
				4
				OF
				2

COUNTY FILE NO.:



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbook.com.

Project Information



County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF MEMORANDUM
Zoning Administration
January 17, 2019
Item #3

Staff Contact: Colleen Tsuchimoto – Senior Planner
(408) 299-5797, colleen.tsuchimoto@pln.sccgov.org

File: 11360-18DR
Design Review Approval for rebuild of a single-family residence
Address: 23271 Partridge Lane Los Altos

DISCUSSION

On January 8, 2019, the applicant informed Staff that the story poles will not be able to be constructed to meet the 7-day deadline for a storypole inspection by Thursday, January 10, 2019. As such, the required storypoles will not be constructed in compliance with County Ordinance for the Thursday, January 17, 2019 public hearing. The applicant noted that storypole construction could not occur due to rain and heavy wind conditions. The applicant requested that the meeting be continued to the February 7, 2019 public hearing to accommodate more time to construct the storypoles, including a Staff inspection after constructing the storypoles. As such, Staff is recommending that the application be continued to the February 7, 2019 public hearing.

ADDITIONAL INFORMATION

Permit Streamlining Act

The subject application was deemed complete for processing on December 10, 2018, with a Permit Streamlining Act deadline of February 7, 2019. No Permit Streamline Act extension is needed at this time, as the next scheduled hearing date is February 7, 2019.

REVIEWED BY

Prepared by: Colleen Tsuchimoto, Senior Planner 

Reviewed by: Leza Mikhail, Principal Planner / Zoning Administrator 

