

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT
Zoning Administration
December 7, 2018
Item #4

Staff Contact: Mark Connolly
(408) 299-5786, mark.connolly@pln.sccgov.org

File: 11435-18DR

Design Review of a 14-foot tall wall at the rear of the property, pursuant to section 4.20.050(A)(5) of the Zoning Ordinance.

Summary: Request for Design Review approval to construct a 14-foot tall wall along the rear of a property to provide security for a tire center business. The wall would be 80 feet wide along the rear property line and 37 feet deep along the side property lines, enclosing 2,960 square feet of the exiting property. No grading is proposed, and no trees would be removed. The wall would be setback two feet from the property line to afford for landscaping.

Owner: Art Calderon
Applicant: Art Calderon
Lot Size: .44 Acres
APN: 277-05-030
Supervisory District: 4

Gen. Plan Designation: USA (San Jose)
Zoning: CG (General Commercial)
Address: 454 S. Bascom San Jose, CA
Present Land Use: Commercial
Approved Building Site: Yes

RECOMMENDED ACTIONS

- A.** Accept the Categorical Exemption, under Section 15303 (Class 3(e)) of the CEQA Guidelines, Attachment A
- B.** Grant Design Review Approval, subject to conditions outlined in Attachment B

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination
Attachment B – Proposed Conditions of Approval
Attachment C – Location & Vicinity Map
Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes Design Review for a 14-foot tall CMU wall along the rear of a property to provide security for a tire center business (Calderon Tires). The wall would be 80 feet wide along the rear property line and 37 feet deep along the side property lines, enclosing 2,960 square feet. No grading is proposed, and no trees would be removed. The wall would be setback two feet from the property line afford for landscaping.

The lot is located at 454 S. Bascom Avenue, but is considered a lot with two street frontages, as the property also fronts Laswell Avenue along the rear of the property. The wall would have a gate opening utilizing an existing driveway. The property is served by San Jose Water and has a sewer connection. No other site improvements are proposed outside of the wall area.

Setting/Location Information

The subject property is located in a neighborhood known as Burbank, in unincorporated San Jose, between highway 280 and 880.

The neighborhood character consists of commercial properties along Bascom Avenue and single-family residential properties to the rear along Laswell Avenue to the rear. In other cases where residences exist along Laswell Avenue, the rear yards of those properties abut the rear of the commercial properties fronting along Bascom Avenue.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption, Section 15303 Class 3(e) Additions to existing structures.

B. Project/Proposal

1. **General Plan:** Urban Service Area – San Jose
2. **Approved Building Site:** Yes, per Tract 6984.
3. **Zoning Ordinance:** With the exception of height, the development standards for the CG (General Commercial) zoning district are established by Architectural and Site Approval at the time of a development proposal. The proposed wall may be approved pursuant to section 4.20.050(A)(5) of the Zoning Ordinance.

Front Setback:	N/A
Side Setbacks:	N/A
Rear Setback:	N/A
Maximum Height:	65 feet
Stories:	N/A

C. Design Review Findings:

Pursuant to Section 4.20.050(a)(5) of the Zoning Ordinance, fences/walls can reasonably exceed the height limitations specified within underlying zoning district may be allowed, subject to the Design Review provisions of Chapter 5.50.

Pursuant Section 5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The proposed CMU wall would create a 14-foot tall barrier along the Laswell right-of-way in a predominantly residential neighborhood. However, the Applicant has worked with Planning Staff to include a two-foot landscape buffer in front of the wall to plant trees and shrubs in front of the wall to soften the appearance and help blend it into the neighborhood. The wall would also be painted a natural color to further soften the appearance. As can be seen on sheet L-1 of the plan set, the applicant has submitted a landscape plan showing shrubs, vines and small trees. A condition of approval has been included to require installation prior to building permit issuance.

The construction of the wall would not include removal of any existing trees, or any grading. Following construction, the project would result in additional landscape trees and shrubs being planted.

Overall, the combination of color and landscaping will mitigate any adverse visual impacts. Therefore, this finding can be made.

2. Compatibility with the natural environment;

The CMU wall would be located in an urban area developed with a combination of Commercial and Residential properties. Thus, the compatibility question is one of neighborhood compatibility more so than the natural environment. The landscaping in front of the wall and painting of natural colors will provide neighborhood compatibility. Staff has included conditions of approval requiring adequate landscaping and painting to mitigate impacts of a large wall. Therefore, this finding can be made

3. Conformance with the "Design Review Guidelines," adopted by the Board of Supervisors;

The County Design Review Guidelines were adopted by the Planning Commission in February of 1999 with a primary intent to address viewshed impacts to the valley floor.

The Guidelines discuss open fencing in rural areas and encourage landscaping retaining walls. Nonetheless, Staff has required and conditions the proposed CMU wall be constructed with adequate landscaping to help blend the wall into the urban area.

4. Compatibility with the neighborhood and adjacent development;

The neighboring properties are developed with commercial development and single-family residences that are both one (1) to two (2) stories. The proposed CMU wall will be painted and landscaped to blend the 14-foot tall height into the neighborhood.

To ensure that the users of the subject property could operate safely with a 14-foot tall wall at the driveway encroachment, a sight distance study was prepared by Stantec on June 1, 2017. The study concluded that even at the property line adequate sight distance could be achieved to maintain safety. The location of the wall has since been modified to add an additional two feet, furthering the factor of safety.

The study recommended maintaining adequate visibility at the driveway by limiting obstructions and the height of landscaping to two feet at the driveway only. The study also recommended a red curb along the encroachment and a convex mirror. These measures have been included as conditions of approval.

5. Compliance with applicable zoning district regulations; and

The CG zoning district does not have prescribed wall or fence regulations, because of the commercial nature of uses in the zoning district and varying wall and fencing needs. Therefore, the standard fencing provisions of Chapter 4.20.050 of the County Zoning Ordinance do not apply. The Design Review process is the only applicable zoning regulation to approve the subject application. Through the Design Review process, the Zoning Administrator may approve fences and walls taller than what would otherwise be allowed in urban areas, if the Zoning Administrator finds that the height must reasonable exceed standard height limitations due to physical, or topographical limitations, or for consistency with and preservation of the neighborhood character.

The nature of a tire center lends itself to tall storage of equipment, wheels and tires. The proposed wall allows that storage to be screened from the residential neighborhood, thus increasing neighborhood compatibility.

6. Conformance with the general plan, any applicable specific plan, other applicable guidelines.

The proposed development substantially conforms with the Santa Clara County General Plan as commercial fences and walls are deemed to be both acceptable and necessary. There are no specific plans or guidelines applicable to the project.

BACKGROUND

In 2009 the Applicant filed for and obtained a modification of the Use Permit to operate the Calderon Tire Center. Part of that approval was a 21-foot tall wall along the rear property line

(Laswell Avenue, which the owner never constructed. The Owner worked with the neighbors and elected to reduce the height of the wall to 14 feet tall, which is the subject application.

On October 15, 2018 an application for Design Review was submitted to the Planning Division. The application was deemed complete on November 16, 2018.

A public notice was mailed to all property owners within a 300-foot radius of the project on November 27, 2018 and was also published in the Post Records on September 26, 2018.

STAFF REPORT REVIEW

Prepared by: Mark J. Connolly, Senior Planner



Reviewed by: Leza Mikhail, Principal Planner & Zoning Administrator



ATTACHMENT A

Notice of Exemption from CEQA

To: County Clerk-Recorder
County of Santa Clara

Office of Planning & Research
PO Box 3044, Room 222
Sacramento, CA 95812-3044

Project Title Calderon Tire 14 -foot tall wall Design review	File Number (if applicable) 11435-18DR	
Project Location 454 S. Bascom Avenue, San Jose, CA19020 Ojai Drive, Los Gatos, northwest corner of Ojai Drive and Matilija Drive, and east of the City of Monte Sereno. Zoning RHS-d1		
Public Agency Approving Project County of Santa	Person or Agency Carrying Out Project Mark J. Connolly, Senior Planner	
Project Description (including purpose and beneficiaries of project) Design Review approval to construct a 14-foot tall wall along the rear of a property to provide security for a tire center business. The wall would be 80 feet wide along the rear property line and 37 feet deep along the side property lines, enclosing 2,960 square feet. No grading is proposed, and no trees would be removed. The wall would be setback two feet from the property line afford for landscaping.		
Exempt Status check one/indicate type of State CEQA Guidelines section number: <input checked="" type="checkbox"/> Categorical Exemption [CEQA Guidelines 15301-15333]; <input type="checkbox"/> Statutory Exemption [CEQA Guidelines 15260-15285]; <input type="checkbox"/> Declared Emergency [15269(a)]; <input type="checkbox"/> Emergency Project [15269(b)(c)]; <input type="checkbox"/> General Rule [CEQA Guidelines 15061(b)(3)];		
Reasons the project is exempt: Section 15303 Class 3(e) of the CEQA New Construction of small structures including fences		
County Contact Person Mark J Connolly	Title Senior Planner	Telephone Number (408) 299-5786
Signature 	Date: 11/26/18	

ATTACHMENT B

Conditions of Approval

11435-18DR

DESIGN REVIEW

Owner/Applicant: Art Calderon

File Number: 11435-18DR

Location: 454 S. Bascom Avenue, San Jose, CA

Project Description: Design Review approval to construct a 14-foot tall wall along the rear of a property to provide security for a tire center business. The wall would be 80 feet wide along the rear property line and 37 feet deep along the side property lines, enclosing 2,960 square feet. No grading is proposed, and no trees would be removed. The wall would be setback two feet from the property line afford for landscaping.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a particular specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Mark J. Connolly	(408) 299- 5786	mark.connolly@pln.sccgov.org
Land Development Engineering	Ed Duazo	(408) 299 – 5733	Ed.duazo@pln.sccgov.org
Building Inspection		(408) 299-5700	

STANDARD CONITIONS OF APPROVAL

Planning

1. Development must take place in accordance with the approved plans, prepared by LPMD Architects, submitted to the County on October 30, 2018.
2. Adequate visibility for vehicular and pedestrian traffic shall be maintained at the driveway by limiting the line of sight obstructions by maintaining landscaping to a maximum two feet beyond the wall, facing the street.
3. The curb along Laswell Avenue shall be painted red on both sides of the driveway for 10 feet to maintain adequate line of sight.
4. A driveway convex mirror shall be installed a minimum of 30 inches in diameter at each of the driveway exits to improve the visibility of both vehicles and pedestrians.

5. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.
6. All Landscaping shall be maintained for long-term health and maintenance.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE

Planning

7. A final landscape plan shall be submitted to the planning department showing a mixture of trees and shrubs proposed in the two-foot landscape buffer area. Said plan shall be approved by the Zoning Administrator **prior to issuance of a Building Permit** for the wall.
8. Pursuant to §5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

Land Development Engineering

9. The building plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.

Building Inspection Office

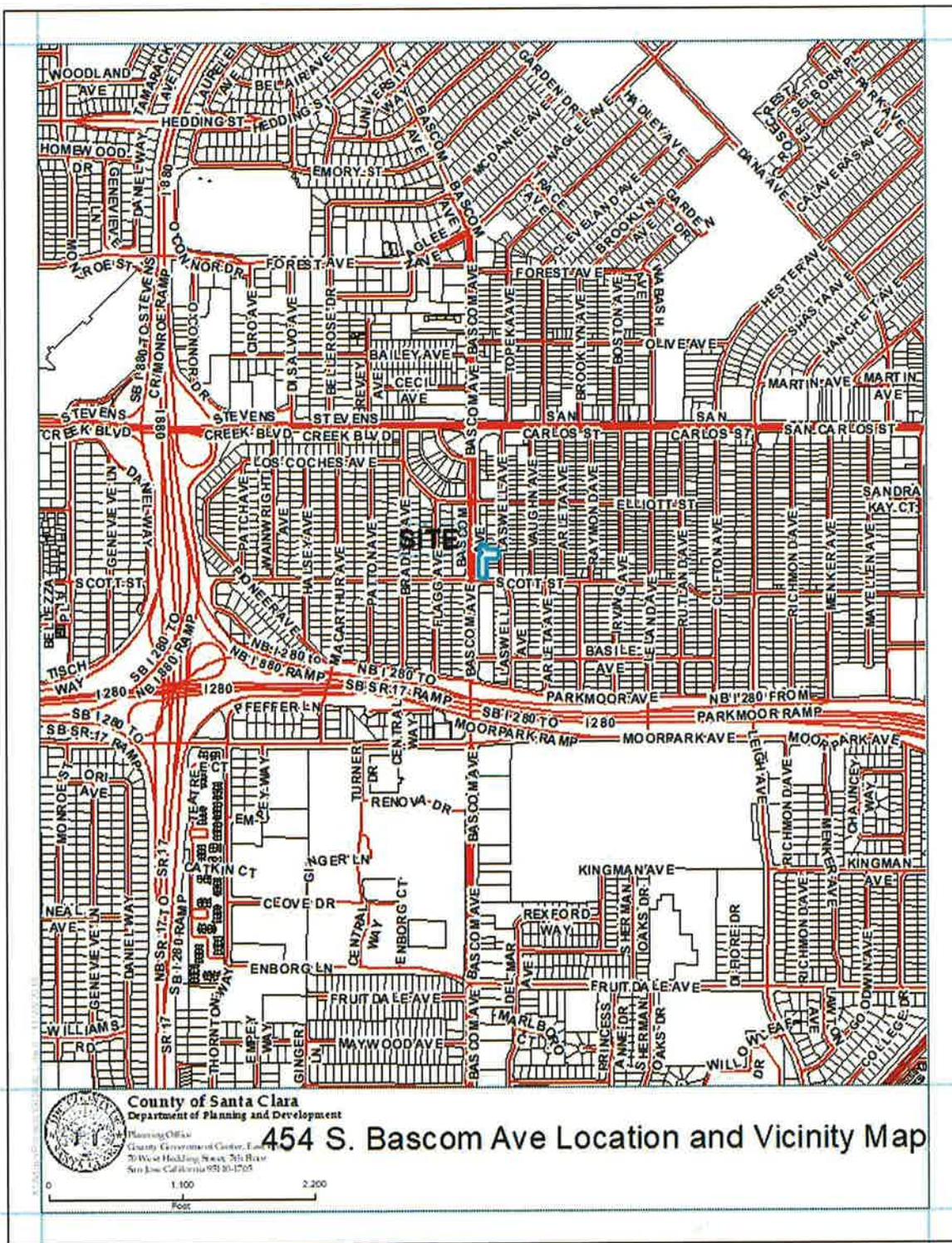
10. A building permit shall be issued for the proposed wall, prior to construction. Contact the building department at 408-299-5700 for additional details.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST

Planning

11. **Prior to final inspection**, the approved exterior color surfaces of the walls shall be painted muted / natural colors and shall be shown in the final building plans.
12. **Prior to final inspection**, contact Mark Connolly, at least a week in advance to schedule a site visit to verify the approved exterior colors have been installed as approved and existing landscaping is maintained.

ATTACHMENT C Location & Vicinity Map



LPMD Architects

1288 Kifer Road, Unit 206,
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



Signature of Engineer

CALDERON TIRE

NEW PERIMETER WALL

454 S. BASCOM AVENUE, SAN JOSE CA, SANTA CLARA COUNTY

CALDERON'S
BASCOM AVE.
SAN JOSE, CA

Revisions

CALDERON TIRE CENTER
BASCOM AVE.
SAN JOSE, CALIFORNIA

Project No: _____ Date: 4/8/2010
Sheet No: _____

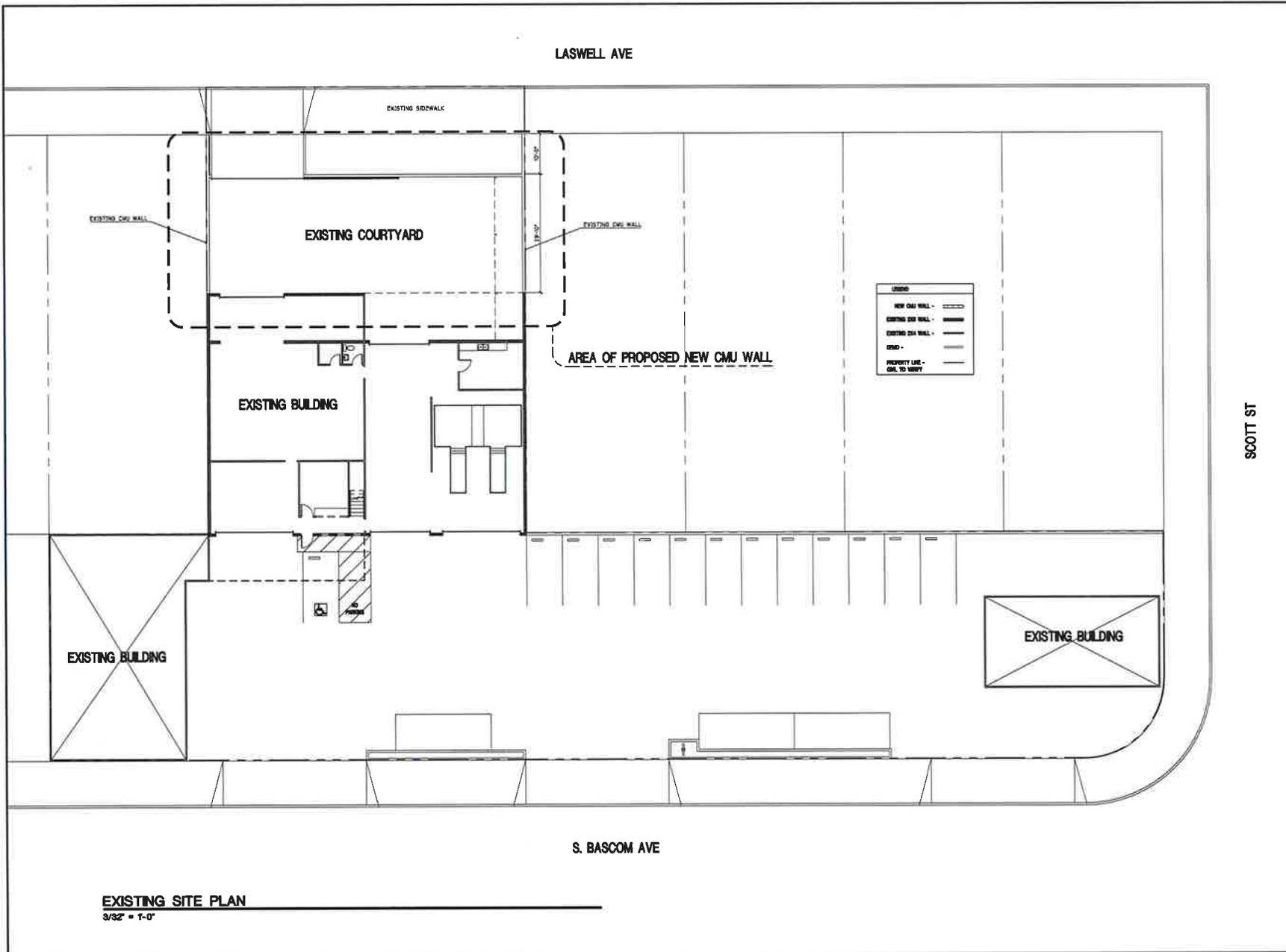
TITLE SHEET

Prepared by: CH
Sheet No: _____

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of _____ sheets

GENERAL NOTES	PROJECT DIRECTORY	SHEET INDEX	PROJECT INFORMATION
	<p>OWNER CALDERON TIRES 408-687-0913 454 S. BASCOM AVE. SAN JOSE, CA</p> <p>ARCHITECT LPMD ARCHITECTS 408-992-0280 1288 KIPER RD, UNIT 206 408-992-0281 FAX SUNNYVALE, CA 94086</p> <p>CIVIL ENGINEER VEB 408-834-7888 154 PARK AVE. SAN JOSE, CA</p>	<p>ARCHITECTURAL</p> <p>0 TITLE SHEET 1 EXISTING SITE PLAN 2 PROPOSED SITE PLAN 3 PROPOSED ELEVATION</p> <p>CIVIL</p> <p>1 SCHEDULES, LEGEND, & GENERAL NOTES 2 GRADING PLAN 3 EROSION CONTROL PLAN</p> <p>LANDSCAPE</p> <p>L1 LANDSCAPE PLAN L2 GENERAL NOTES AND DETAILS</p>	<p>SCOPE OF WORK: NEW 14' HIGH REAR WALL</p> <p>OCCUPANCY GROUP: SECTION 3104.310 B-1 LIGHT VEHICLE REPAIR SHOP</p> <p>NUMBER OF STORIES: 2</p> <p>CONSTRUCTION TYPE: TYPE V-B</p> <p>FIRE SPRINKLERS SPRINKLERED</p> <p>SITE AREA: EXISTING TOTAL BUILDING AREA: 55841 SQFT. AREA OF WORK: 640 SQFT.</p>



EXISTING SITE PLAN
3/32" = 1'-0"

LPMD Architects

1288 Kifer Road, Unit 206,
Sunnyvale, CA 94089
Telephone : 408-952-0280
Fax : 408-952-0281



Theresa Rodriguez

CALDERON'S
BASCOM AVE
SAN JOSE, CA

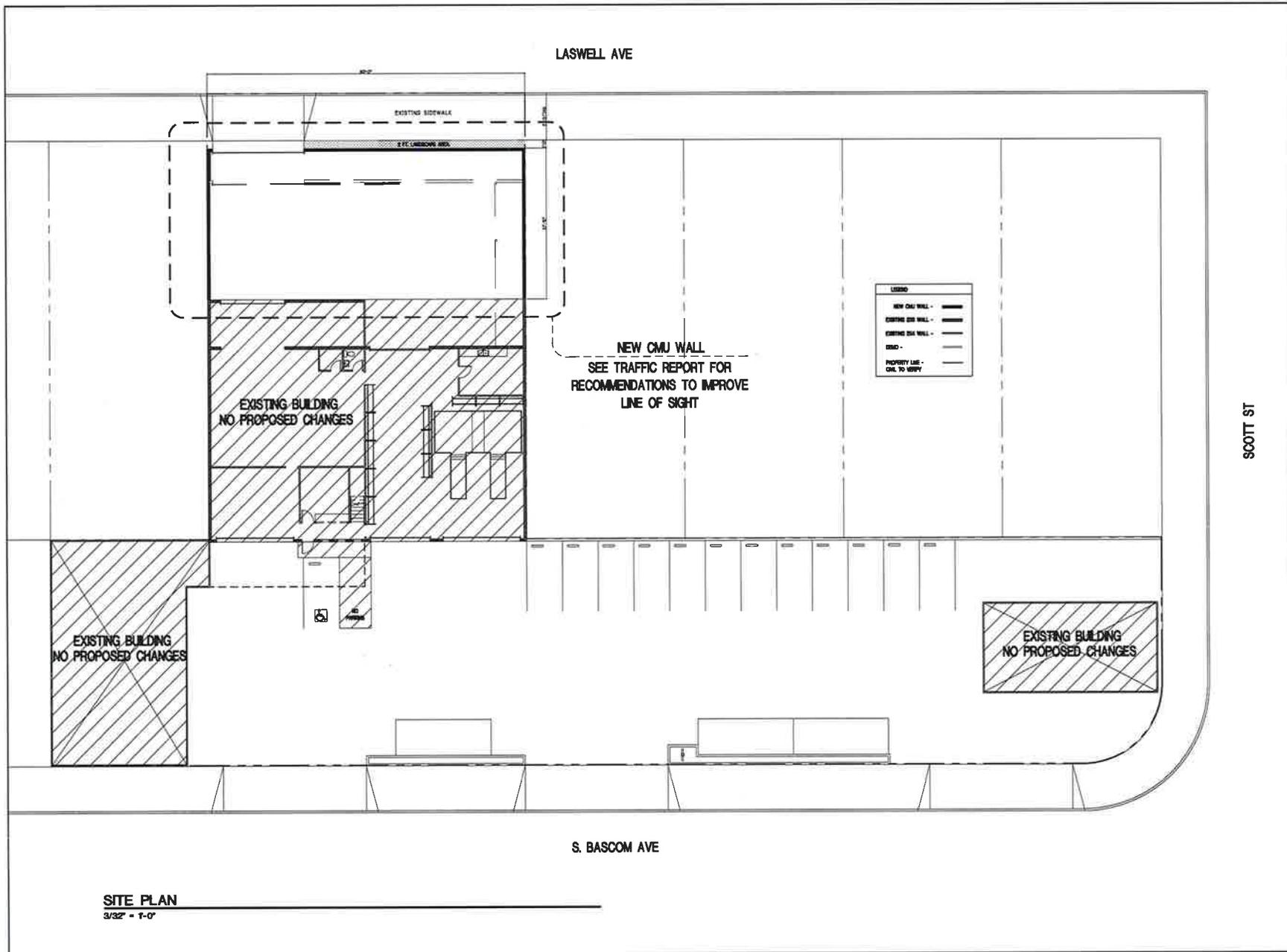
Notes:

CALDERON TIRE CENTER
BASCOM AVE
SAN JOSE, CALIFORNIA

Project No: _____ Date: 4/6/2010
Sheet Title: _____

EXISTING SITE PLAN

Revised by: CH
Sheet No: _____



LPMD Architects

1288 Kifer Road, Unit 206,
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



Theresa S. Szymanski

LEGEND

NEW CMU WALL -	-----
EXISTING CMU WALL -	-----
EXISTING CMU WALL -	-----
EXIST -	-----
PROPERTY LINE -	-----
ONE TO ASPHY	-----

CALDERON'S
BASCOM AVE
SAN JOSE, CA

CALDERON TIRE CENTER
BASCOM AVE
SAN JOSE, CALIFORNIA

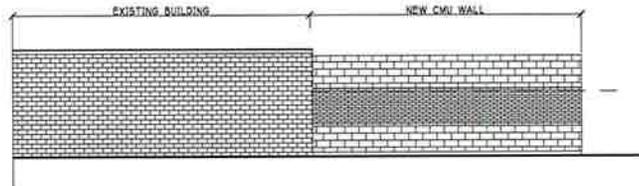
Project No: _____ Date: 4/6/2010
Sheet Title: _____

PROPOSED SITE PLAN

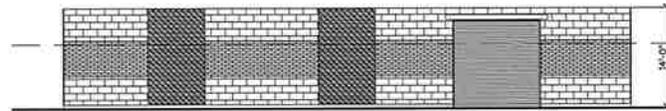
Prepared by: CH
Sheet No: _____



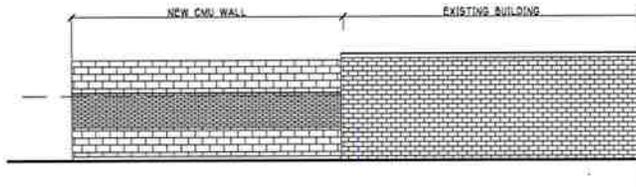
Thompson & Thompson Inc.



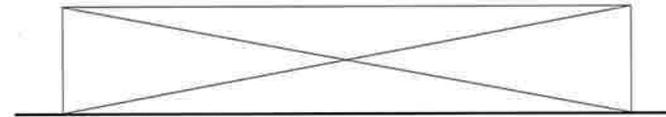
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

PROPOSED ELEVATION

1/8" = 1'-0"

CALDERON'S
848201 AVE.
SAN JOSE, CA

Revised: _____

CALDERON TIRE CENTER
848201 AVE.
SAN JOSE, CALIFORNIA

Project No: _____ Date: 4/8/2010
 Sheet Title: _____

PROPOSED ELEVATION

Revised By: CH
 Sheet No: _____

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY XXXXXXXXXXXXXXXX. FILE NO. XXXXXXX AND DATED XXXXXXX. THIS REPORT IS SUPPLEMENTED BY THESE PLANS AND SPECIFICATIONS. 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS A SEPARATE PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY'S INSPECTOR.
- ALL PERSONS WORKING WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 33005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS SHALL BE TRAINED.
- UPON DISCOVERING OR LINEARING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2562 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER WORK OF THE SITE MAY BE DONE AS EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE WORK PERMIT ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE REQUIREMENTS MUST BE APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 48 HOURS FOR ASPHALT CONCRETE INSPECTION AND PREPARE RESULTS TO THE COUNTY ENGINEER INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDANT OF CONSTRUCTION. SITE CONDITIONS, EQUIPMENT OR PERSONNEL CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8886 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEANING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTRAL STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT, WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT.
- ALL DRIVEWAYS OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 1/2" LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR EQUIVALENT TO ACCEPTABLE CONSTRUCTION.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE LIABLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST) TO THE COUNTY TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME AS THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

UTILITY LOCATION, TRACING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (TWICE DURING SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UTILITIES AT CONSTRUCTION SITES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. SURFACING MAY BE DONE IF THE UTILITY LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE TRENCH SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHWAY TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY OF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL, BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULLED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL. THE SURFACE OF THE DRAINAGE SHALL BE SCARIFIED TO A DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEPT IN PLACE TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN THICKNESS. THE SURFACE OF THE FILL SHALL BE BENCHED AND MOISTURE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AIRDATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING. IT IS AGRICULTURE DELICATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

ESTIMATED VOLUME OF FILL

FILL	300	CUBIC YARDS
FILL	200	CUBIC YARDS
FILL	2	FEET

NOTE: FILL VOLUMES INCLUDE TOP SPRINKLING

- EXCESS MATERIAL SHALL BE OFF HAULLED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY SOILS WORK TO BE DONE IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF SUBGRADE SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR FILL OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PREPARE RESULTS TO THE COUNTY ENGINEER INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE UNDER THE JURISDICTION

STORM DRAINAGE

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF SUCH FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.
- DROP INLETS SHALL BE STANDARD TYPE S UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS WHERE STREET PROFILE GRADE EXCEEDS SIX (6) INCHES ABOVE THE DRAINAGE INLET. THE CONCRETE W/ DECKING SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- LIFTOFF INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEER INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO COVER AT LEAST TWO FEET OF PROTECTION.
- PAVE, APPLY WATER THREE TIMES DAILY OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ON ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2405 OF CALIFORNIA CODE OF REGULATIONS (COT) UNLESS ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - 15 MILES PER HOUR (MPH) SPEED LIMIT
 - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE IS (925) 835-7200.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDING WITH BROME SEED SPREAD AT THE RATE OF 5 LB PER 1000 SQUARE FEET (OR APPROVED EQL). SEEDING AND MULCHING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE SEEDING PER COUNTY STANDARD SOB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & DITCH/EROSION CONTROLS (E.G. SARKED CONCRETE RIP-UP, ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS WHERE DITCHES ARE NOT INTO AN EXISTING CREEK OR WATER COURSE. RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS ANOTHER PLAN IS APPROVED OR SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WATERIFICATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO A NOTIFICATION 15TH OF EVERY YEAR.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (5 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () NOT MAJOR FIELD CHANGES - MARKED WITH THE SYMBOL () THERE () WERE () WERE NOT PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL.

DATE: _____ SIGNATURE: _____
 NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS WILL BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK HAS BEEN DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



DATE: _____ 42103 CHRISTOPHER J. FORTAS 1/1/18
 R.C.E. NO. _____ EXPIRATION DATE _____

PROJECT NOTES

- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD BEFORE IT IS BROUGHT TO THE SITE.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST) TO THE COUNTY TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- THE WATER AND SANITARY UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- GRADING WORK BETWEEN OCTOBER 15 TO APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
- ALL NEW PRIVATE CATCH BASIN TO BE 2'x2' CHRISTY BOX TYPE UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPES SHALL BE 6 INCHES MINIMUM DIAMETER AND ALL PIPES CONNECTING DOWNSPOUTS TO STORM DRAINS SHALL BE A INCHES MINIMUM IN DIAMETER.
- ALL STORM DRAINAGE SINKER AND WATER PIPING TO BE PVC SCH 40, SDR 33 OR EQUIVALENT.

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

PERMIT (S) NO.: _____
 FILE(S) NO.: _____
 ISSUED BY: _____ DATE: _____
 COUNTY ENGINEER AND SURVEYING
 DEVELOPMENT SERVICES OFFICE
 COUNTY OF SANTA CLARA
 ENGINEER'S STATEMENT
 I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED XXXXXX.
 FILE(S) NO. XXXXXXXX
 DATE: _____ SIGNATURE: _____
 R.C.E. NO. 25616
 R.C.E. NO. _____



COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
 ISSUED BY: _____ DATE: _____

COUNTY OF SANTA CLARA
 LAND DEVELOPMENT ENGINEERING & SURVEYING
 CONSTRUCTION PERMIT NO. _____
 GRADING PERMIT NO. _____
 ISSUED BY: _____ DATE: _____

COUNTY LAND DEVELOPMENT AND ENGINEERING PH 408-299-5733

CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (805)942-2444.

COUNTY ENGINEER'S NOTE

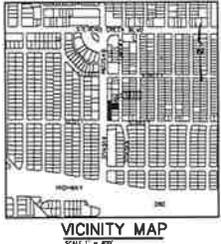
ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY TO THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUPERVISOR OF WORK AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

Revision #	Date	APPN	Sheet
Revision 1	Date	CD File	1 of 3
Revision 2	Date		
Revision 3	Date		

454 S. BASCOM
 LANDS OF CALDERON

SCOPE OF WORK

- THE PROPOSED DEVELOPMENT IS WITHIN AN EXISTING CALDERON TRAIL SHOP OF APPROXIMATELY 0.547 AC. THE IMPROVEMENT WILL DEVELOP A PORTION OF THE SITE TO CONSTRUCT:
- (N) DRIVEWAY
 - (N) BUILDING
 - (N) LANDSCAPE AREAS
 - (N) PLANTED BOX BIO-TREATMENT CELL
 - (N) SIDEWALK



LEGEND: (Symbol Size May Vary)

EXISTING	PROPOSED
Property Boundary	-----
Lot Line	-----
Cur & Outer	-----
Storm Drain	-----
Overhead Electrical Line	-----
Cut / Fill Trench	-----
City Standard Curb Inlet	-----
Field Inlet / Flat Catch Inlet	-----
Stream Marker	-----
Direction of Surface Drainage	-----
Overland Release	-----
Spot Elevation	-----
Utility Pole	-----
TREE TO BE REMOVED	-----
DRIVEWAY	-----
Box Treatment Cell	-----

SHEET INDEX

- COVER SHEET
- GRADING AND DRAINAGE PLAN
- EROSION CONTROL PLAN

DATE: 11/08/18

VER CONSULTANTS
 Planning | Engineering | Land Entitlement
 www.ver-consultants.com
 1625 THE ALAMEDA, SUITE 406, SAN JOSE, CA 95126
 PH (408)834-7888 FAX (408)834-7835

GRADING AND DRAINAGE PLAN
 454 S. BASCOM, SAN JOSE
 IN COUNTY OF SANTA CLARA, CALIFORNIA

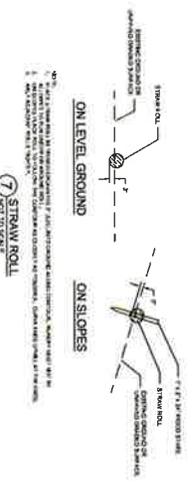
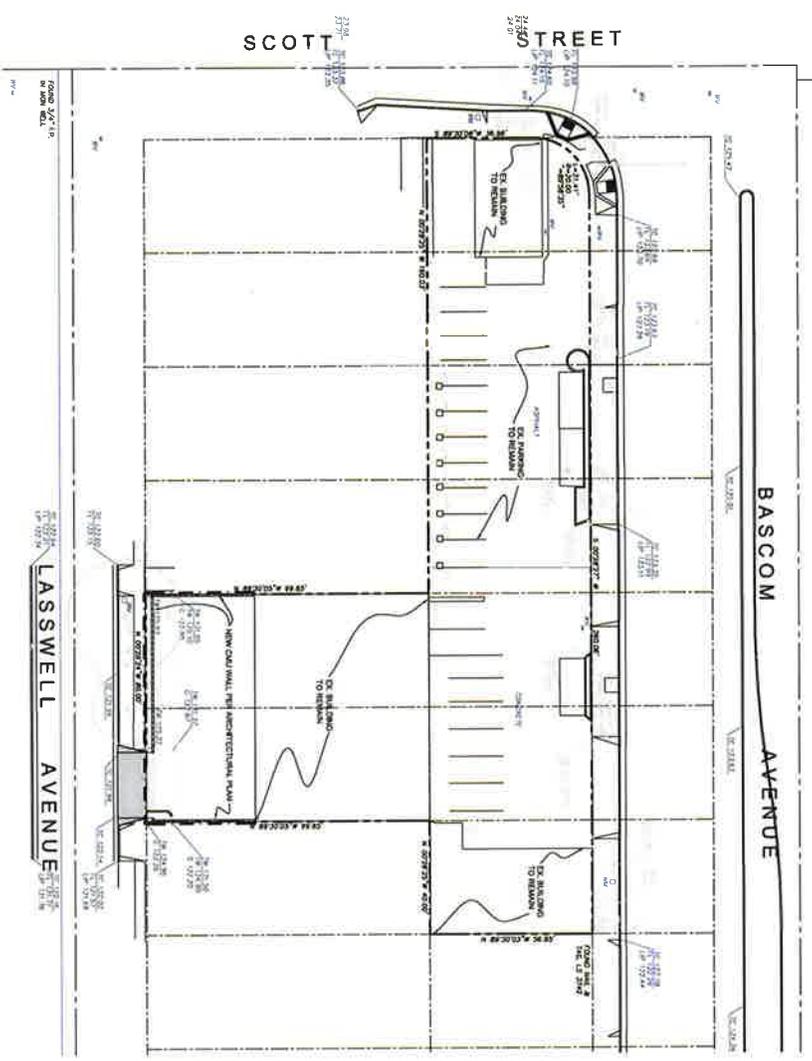
PLAN # OF SHEET 3

LEGEND

SYMBOL	DESCRIPTION
	STRAW ROLLS

MAINTENANCE SCHEDULE

CONTROL	INSPECTION FREQUENCY	MAINTENANCE/REPAIR MEASURES
STRAW ROLL	WEEKLY AND AFTER EACH RAIN	REPAIR DAMAGE TO ROLL, RE-PAVEMENT REMOVE SPILLAGE WHEN IT REACHES THE RESERV OF THE ROLL ESPECIALLY IF MOISTURE ARE EXPOSED.



PRIVATE GRADING PLAN
 CALDERON TIRES
 454 S. BASCOM AVE
 EROSION CONTROL PLAN
 SAN JOSE CALIFORNIA
 SHEET
C3
 3 OF 3 SHEETS
 PROJECT #
 2012.324



NO.	DATE	BY	CSJ	DATE	REVISIONS
1					
2					
3					
4					



ISAACSON, WOOD & ASSOCIATES
LANDSCAPE ARCHITECTURE
35802 HIBISCUS COURT, FREMONT, CA 94536
PHONE: (408) 838.2329
info@isaacsonwood.com

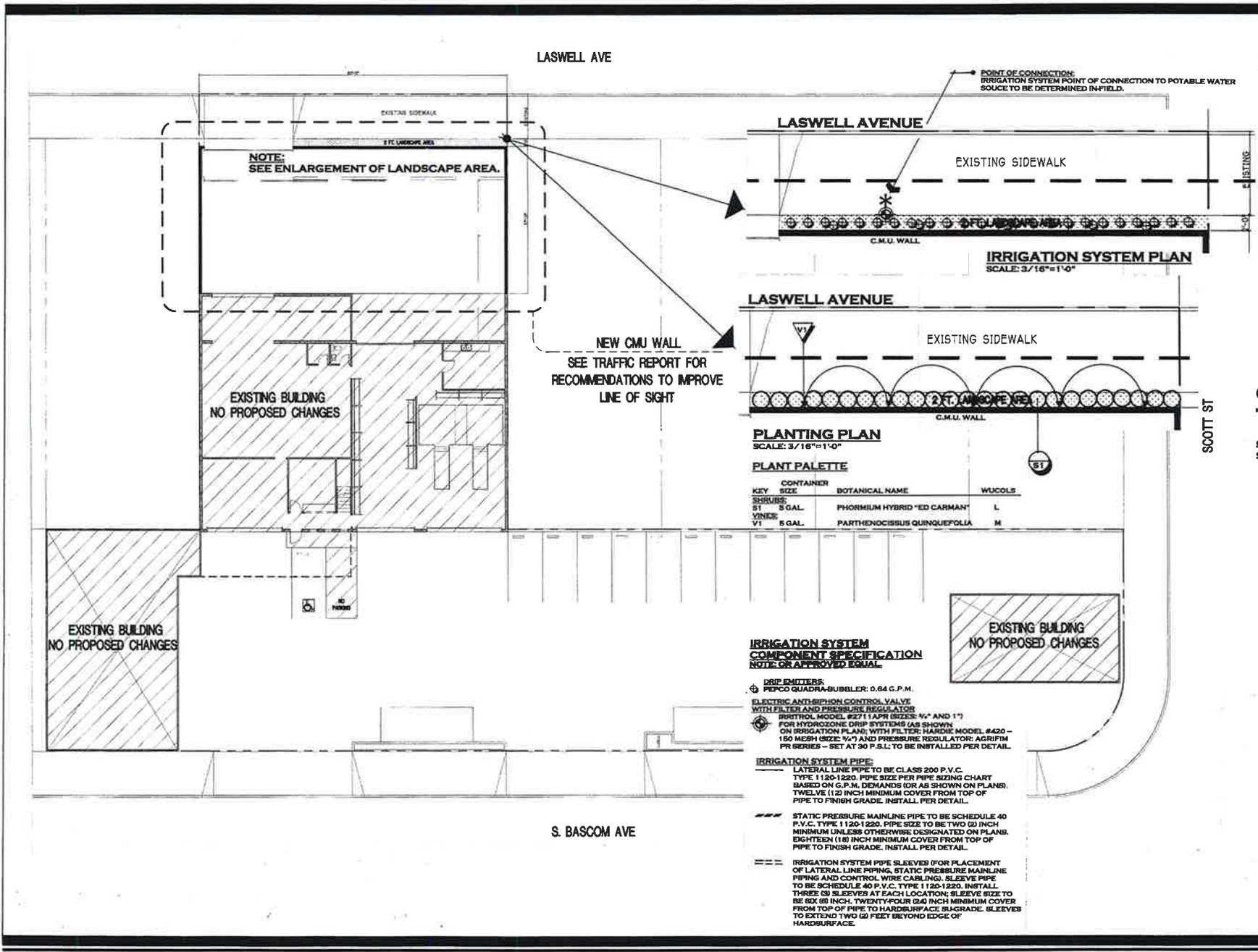
**CALDERON
TIRE CENTER**
SOUTH BASCOM AVENUE
SAN JOSE, CALIFORNIA

LANDSCAPE PLAN

JOB #	REVISIONS
18017	▲
DATE:	▲
11.07.18	▲
	▲
	▲



SHEET
L1
OF



NOTE:
SEE ENLARGEMENT OF LANDSCAPE AREA.

EXISTING BUILDING
NO PROPOSED CHANGES

EXISTING BUILDING
NO PROPOSED CHANGES

EXISTING BUILDING
NO PROPOSED CHANGES

LASWELL AVE

LASWELL AVENUE

LASWELL AVENUE

NEW CMU WALL
SEE TRAFFIC REPORT FOR
RECOMMENDATIONS TO IMPROVE
LINE OF SIGHT

POINT OF CONNECTION:
IRRIGATION SYSTEM POINT OF CONNECTION TO POTABLE WATER
SOURCE TO BE DETERMINED IN-FIELD.

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK

IRRIGATION SYSTEM PLAN
SCALE: 3/16"=1'-0"

PLANTING PLAN
SCALE: 3/16"=1'-0"

PLANT PALETTE

KEY	CONTAINER SIZE	BOTANICAL NAME	WUCOLS
SHRUBS	5 GAL.	PHORMIUM HYBRID 'ED CARMAN'	L
VINES	5 GAL.	PARTHENOCISSUS QUINQUEFOLIA	M

IRRIGATION SYSTEM COMPONENT SPECIFICATION
NOTE: OR APPROVED EQUAL

- DRIP EMITTERS:
PEPCO QUADRA-SUBBLER: 0.64 G.P.M.
- ⚡ ELECTRIC ANTI-SIPHON CONTROL VALVE WITH FILTER AND PRESSURE REGULATOR
BRITROL MODEL #2711 APR (SIZE: 1/2" AND 1")
- ⊙ FOR HYDROZONE DRIP SYSTEMS (AS SHOWN ON IRRIGATION PLAN); WITH FILTER; HARDIE MODEL #429 - 150 MESH (SIZE: 3/4") AND PRESSURE REGULATOR; AGRIFIM PR SERIES - SET AT 30 P.S.I. TO BE INSTALLED PER DETAIL.
- ==== IRRIGATION SYSTEM PIPE:
LATERAL LINE PIPE TO BE CLASS 200 P.V.C. TYPE 1 1/2-1220. PIPE SIZE PER PIPE SIZING CHART BASED ON G.P.M. DEMANDS (OR AS SHOWN ON PLANS). TWELVE (12) INCH MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE. INSTALL PER DETAIL.
- ==== STATIC PRESSURE MAINLINE PIPE TO BE SCHEDULE 40 P.V.C. TYPE 1 1/2-1220. PIPE SIZE TO BE TWO (2) INCH MINIMUM UNLESS OTHERWISE DESIGNATED ON PLANS. EIGHTEEN (18) INCH MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE. INSTALL PER DETAIL.
- ==== IRRIGATION SYSTEM PIPE SLEEVES (FOR PLACEMENT OF LATERAL LINE PIPING, STATIC PRESSURE MAINLINE PIPING AND CONTROL WIRE CABLEING). SLEEVE PIPE TO BE SCHEDULE 40 P.V.C. TYPE 1 1/2-1220. INSTALL THREE (3) SLEEVES AT EACH LOCATION; SLEEVE SIZE TO BE SIX (6) INCH. TWENTYFOUR (24) INCH MINIMUM COVER FROM TOP OF PIPE TO HARDSURFACE SURFACE. SLEEVES TO EXTEND TWO (2) FEET BEYOND EDGE OF HARDSURFACE.

S. BASCOM AVE

SCOTT ST

GENERAL IRRIGATION NOTES

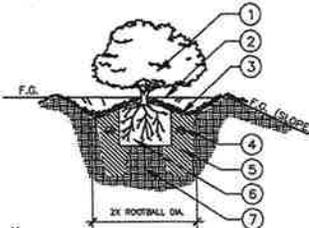
- These notes are to be used for general reference in conjunction with, and as a supplement to, the written specifications, approved addenda, and change orders associated with these Landscape Construction Documents.
- The irrigation design is diagrammatic. Equipment, piping, valves, etc. shown within paved areas is shown for design clarification only and shall be installed within planting areas. Locate valves and B.P.U.'s within shrub areas so that they are visually unobtrusive.
- Do not install the irrigation system as shown on the drawings when it is obvious in the field that unforeseen obstructions, grade differences or differences in area dimensions exist that might not have been considered in the engineering. Such obstructions or conflicts should be brought to the attention of the Owner and Landscape Architect immediately. In the event this notification is not performed, the Contractor shall assume full responsibility for any revisions necessary.
- It is the responsibility of the Contractor to familiarize himself with grade differences, location of walls, retaining walls, structures and utilities, etc. The Contractor shall be responsible for the coordination of the repair or replacement of all items damaged by his work. He shall coordinate his work with other Contractors for the location and installation of pipe sleeves and manholes through walls, under roadways and parking lots.
- The irrigation system design is based on a minimum operating pressure of _____ psi and a maximum flow demand of _____ gpm. The Contractor shall verify water pressure prior to construction and report any discrepancy between the water pressure indicated on the drawing and the actual pressure existing at the irrigation point of connection to the Landscape Architect immediately.
- Install backflow prevention unit(s) and piping between the point of connection and the B.P.U. per local codes. The final location of the B.P.U. shall be approved by the Owner's Authorized Representative.
- VAC electrical power source at controller locations shall be provided by others. The Contractor shall be responsible for coordination of the final connection from the electrical source to the controller with a licensed Electrical Contractor. The final controller location shall be approved by the Owner's Authorized Representative.
- Minimize piping and control wires under paving shall be installed separate sleeves. Manhole sleeves shall be a minimum of 1-1/2" three times the diameter of the pipe to be sleeved. Control wire sleeves shall be of sufficient size for the required number of wires under paving. See plan for size.
- Lateral line piping under paving shall be Schedule 40 P.V.C. pipe and shall be installed prior to paving. Refer to plans for sleeving requirements should they apply.
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved by the Landscape Architect.
- Lateral line sleeving shall be 1/2" size unless otherwise noted.
- Irrigation heads, valves and controller wiring shall be adjusted to provide optimum coverage with minimal overspray into walls and areas. If necessary, the Contractor shall adjust head spacing, nozzle architecture, or install additional heads to ensure proper coverage.
- The Contractor shall provide check valves to each circuit throughout the irrigation system that is located within a sloped area to prevent low irrigation head drainage.
- Irrigation equipment not otherwise detailed or specified shall be installed per manufacturer's recommendations and specifications.
- Irrigation heads shall be set perpendicular to finish grade unless otherwise specified.

GENERAL RESIDENTIAL DRIP IRRIGATION NOTES

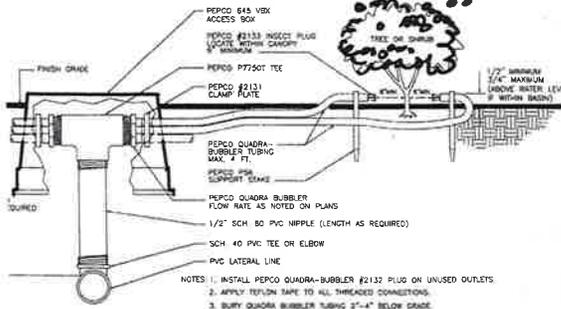
- ATMOSPHERIC VACUUM BREAKER VALVE**
- Install PVC from base hole or water service line after meter, whichever is closer to the point of distribution manifold as shown on the details and as located on the plans, or as approved by Landscape Architect prior to installation.
 - Group atmospheric valve manifold as close as practical. Atmospheric valves to be installed above ground a minimum of 8" above the highest irrigation head. Refer to local codes.
 - Atmospheric valves are to be installed no further than 12" from fence, sidewalk, living structures, etc. unless alternate location is approved by Landscape Architect prior to installation.
 - Thoroughly flush manifold before atmospheric valve installation.
- PRESSURE REGULATOR**
- Install where shown on valve detail.
 - Pressure regulator to be installed on all valves that control drip or microspray circuits.
 - Pressure of regulator to be as per plan (see Irrigation Key PSI).
 - Thoroughly flush manifold before installing pressure regulator.
- IN-LINE FILTER**
- Install where shown on valve detail.
 - In-line filter to be installed on all valves that control drip or microspray circuits.
 - Filter to have 100 to 200 mesh screen installed prior to installation.
 - Thoroughly flush manifold prior to filter installation.
- DRIPPIER INSTALLATION**
- Bury drippers below decorative bark mulch and above finish grade. Use wire nesting staples as necessary to hold tubing in place.
 - Compression fittings must be UV inhibited with a pressure rating of 70 PSI minimum. Submit sample of compression fittings to the Landscape Architect for approval.
 - Install flushing apparatus in areas easily accessible for maintenance. Install as per manufacturer's recommendations. Activate the system and thoroughly flush (20 minutes to one hour) before allowing the system to become fully operational.
- ADJUSTING DRIP IRRIGATION SYSTEM**
- With the system fully flushed and pressurized and before covering the tubing (before or after planting) test the system for operation. Contractor to check all connections for leaks and check for proper discharge from emitter tubing and check and tubing for bug plug and leaks.
 - Additional costs associated with any changes or adjustments are to be born by the Contractor.
 - The entire system shall be operating properly before any area is received into maintenance.
 - The Contractor is responsible for periodically checking operation of the system and adjusting it as necessary for the duration of the Contract, including the maintenance period.

GENERAL PLANTING NOTES

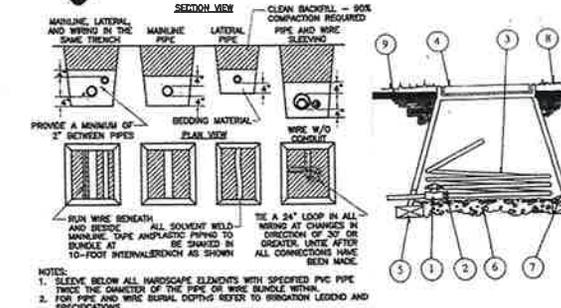
- These notes are to be used for general reference in conjunction with, and as a supplement to, the written specifications, approved addenda, and change orders associated with these Landscape Construction Documents.
- A qualified supervisor shall be present on site at all times during planting and through completion of cleanup work.
- Plant trees and shrubs plumb and faced to give the best appearance or relationship to adjacent plant, structure or view.
- Plant locations are diagrammatic and may be adjusted in the field at the Landscape Architect's request prior to installation. Care shall be taken to spread plant material evenly to provide optimum growth condition and maximum aesthetics. Do not install plant material in an area that will cause harm to adjacent structure or improvements, landscape drainage or obstruct irrigation spray patterns.
- It is the responsibility of the Contractor to coordinate all plant material locations with other trades prior to installation. The Contractor shall familiarize himself with the locations of existing and future underground services and improvements that may conflict with the work to be done. Contact the Underground Service Alert (USA) 800-482-2644 prior to digging, and notify the Owner and Landscape Architect immediately should conflicts arise.
- Notify Owner and the Landscape Architect immediately should soil conditions be present which prevent proper soil drainage and allow water to stand in planting pits.
- Verify plant quantities prior to installation. Quantities are listed for convenience only; the actual number of specimens shall have priority over quantities designated. Notify the Landscape Architect of quantity discrepancies or unspecified quantities immediately.
- Unless otherwise specified, the Landscape Architect shall select and field spot specimen trees. Plant material selection shall be subject to approval by the Landscape Architect or Owner's Authorized Representative prior to installation.
- Vegetables specified shall be installed with wire runners supported by the adjacent structure, and nursery stakes removed. Contractor shall submit for information to Owner and the Landscape Architect for approval prior to installation.
- Ground covers, when utilized, shall be planted evenly and continuously under tree and shrub masses.
- Planting methods, soil amendment quantities, and preparation methods shall be installed according to the plant specifications and details.
- Plant material shall be fertilized at the time and time intervals specified within the planting specifications.
- Refer to Detail _____ Sheet _____ for shrub planting.
- Refer to Detail _____ Sheet _____ for 5 and 16 gallon tree planting.
- Refer to Detail _____ Sheet _____ for boxed tree planting.
- Refer to Detail _____ Sheet _____ for tree girdling.



P1 SHRUB PLANTING



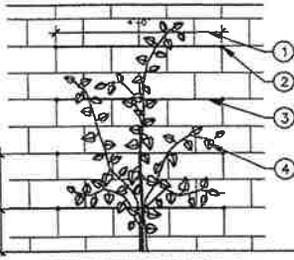
3 QUADRA-BUBBLER DUAL BUBBLER ASSEMBLY



6 PIPE & CONTROL WIRE TRENCHING

LEGEND:

- SHRUB PLANT MATERIAL SEE PLANTING PLANS AND LEGEND.
- MINIMUM 2"-3" HIGH WATER BASIN.
- TOP DRESSING PER PLANTING PLANS AND LOCAL GOVERNING AGENCY STANDARDS AND SPECIFICATIONS.
- FERTILIZER PLANT TABLETS. SEE SPECIFICATIONS FOR SIZE AND QUANTITY.
- PLANTING BACKFILL MIX PER SPECIFICATIONS.
- SHRUB ROOTBALL AT OR ABOVE FINISH GRADE.
- NATIVE SOIL (OR APPROVED IMPORT).



P2 VINE / ESPALIER ON HORIZONTAL WIRE SUPPORT

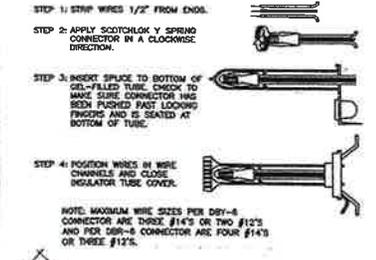
LEGEND:

- MASONRY WALL.
- 1-1/2" X 3/8" STAINLESS STEEL EYE BOLT, FASTEN TO WALL IN PRE-DRILLED HOLE WITH LEAD EXPANSION SHIELD IN MORTAR JOINT.
- COLD DRAWN, STAINLESS STEEL, 18 GAUGE WIRE.
- VINE OR ESPALIER PER PLAN. ATTACH PLANT TO WIRE WITH GREEN NURSERY TAPE.

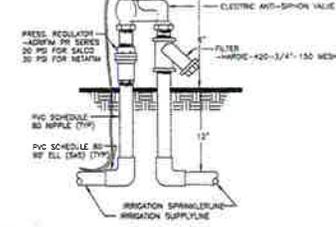
IRRIGATION PIPE SIZING CHART

PIPE SIZE	MAXIMUM G.P.M.
3/4"	8.0
1"	15.0
1-1/4"	24.0
1-1/2"	35.0
2"	50.0
2-1/2"	75.0

LATERAL LINE PIPING: CLASS 200 P.V.C.	MAXIMUM G.P.M.
3/4"	6.0
1"	10.0
1-1/4"	20.0
1-1/2"	30.0
2"	50.0
2-1/2"	70.0



4 CONTROL WIRE CONNECTION



5 ELECTRIC ANTI-SIPHON CONTROL VALVE DRIP HYDROZONE APPLICATION



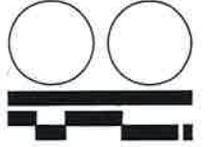
7 DRIP SYSTEM FLUSH VALVE



CALDERON TIRE CENTER
SOUTH BASCOM AVENUE
SAN JOSE, CALIFORNIA

GENERAL NOTES

JOB #	REVISIONS:
18017	▲
DATE:	▲
11.07.18	▲



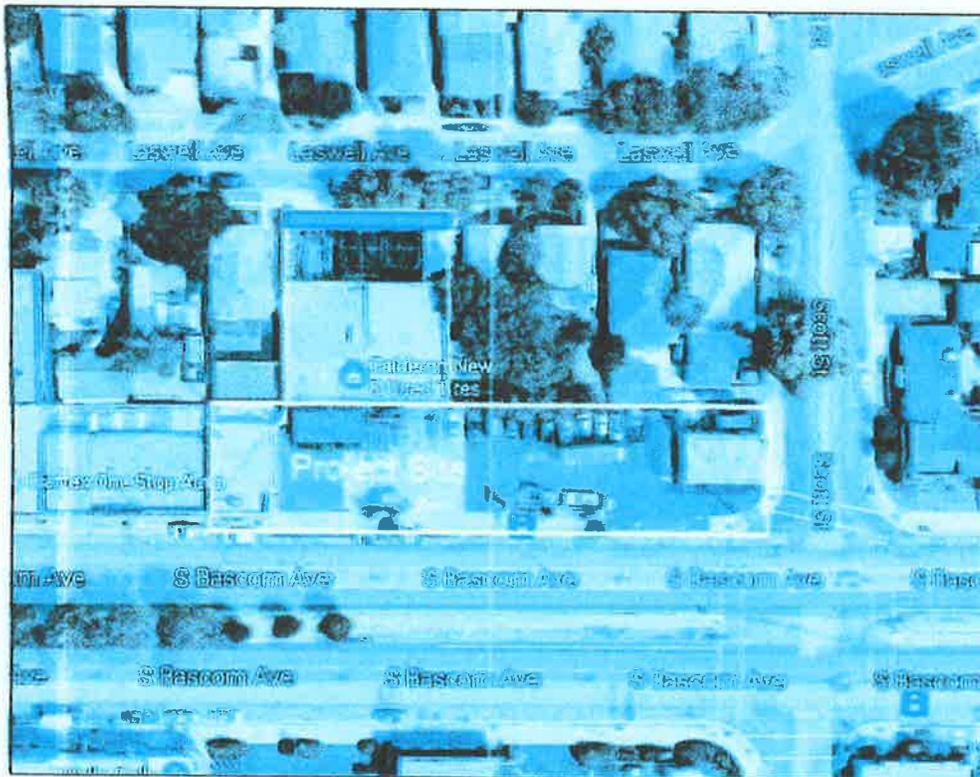
NOTE: 1. This detail is typical for all principle center lateral cads.

SHEET
L2
OF

To:	Recipient's Name Department of Transportation Santa Clara County	From:	Stantec Consulting Services, Inc.
File:	Sight Distance Assessment_Calderon_060117.docx	Date:	June 1, 2017

Reference: A sight distance study for the proposed Calderon New & Used Tires store expansion

This memo presents Stantec's focused sight distance study presents our evaluation and recommendations for the adjacent property access driveways at Laswell Avenue due to the proposed storage expansion of Calderon New & Used Tires store. The project site is located at 454 South Bascom Avenue, San Jose CA, which resides within the jurisdiction of the County of Santa Clara. The proposed expansion of the storage area, shaded blue as shown in the aerial below, is within the project property lines at the rear-side of the project site along Laswell Avenue.



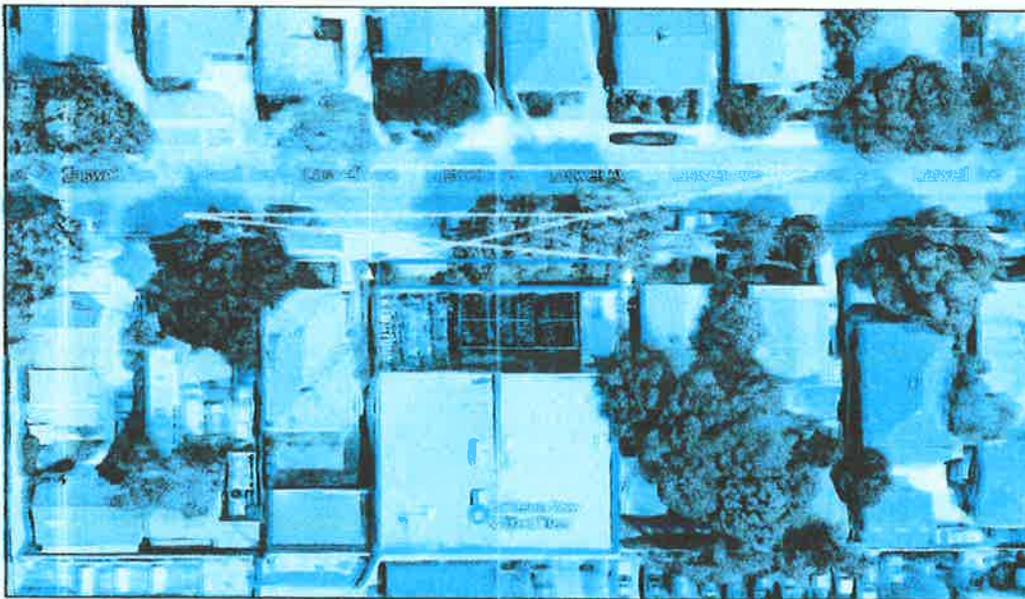
Location of Project Site – 454 S. Bascom Avenue

Reference: A sight distance study for the proposed Calderon New & User Tires store expansion

Sight Distance Evaluation

A sight distance triangle analysis has been performed for the two driveways located to either sides of the project site at Laswell Avenue. The subject driveways are located adjacent to the project property lines which belong to the respective neighbor property owners.

Stantec conducted a thorough field assessment and a review of the current roadway conditions along Laswell Avenue during a typical weekday p.m. peak hour conditions (between 4 and 5 p.m.). Laswell Avenue is a residential street with a posted speed limit of 25 MPH. Currently, the on-street parking is allowed only to the west side of Laswell Avenue, i.e., adjacent to the project curb side.



As illustrated in the above aerial photo, the blue colored rectangle indicates the project site's proposed storage expansion with a 16-foot high concrete walls closer to the sidewalk along Laswell Avenue. This project site expansion presents sight distance concerns and they are discussed in detail in the next section. The yellow-color arrows indicate the location of the existing driveways adjacent to the property which are currently being used by resident neighbors. The red-color triangles indicate the sight distance triangles measured as per Caltrans standards and the posted speed limit on Laswell Avenue.

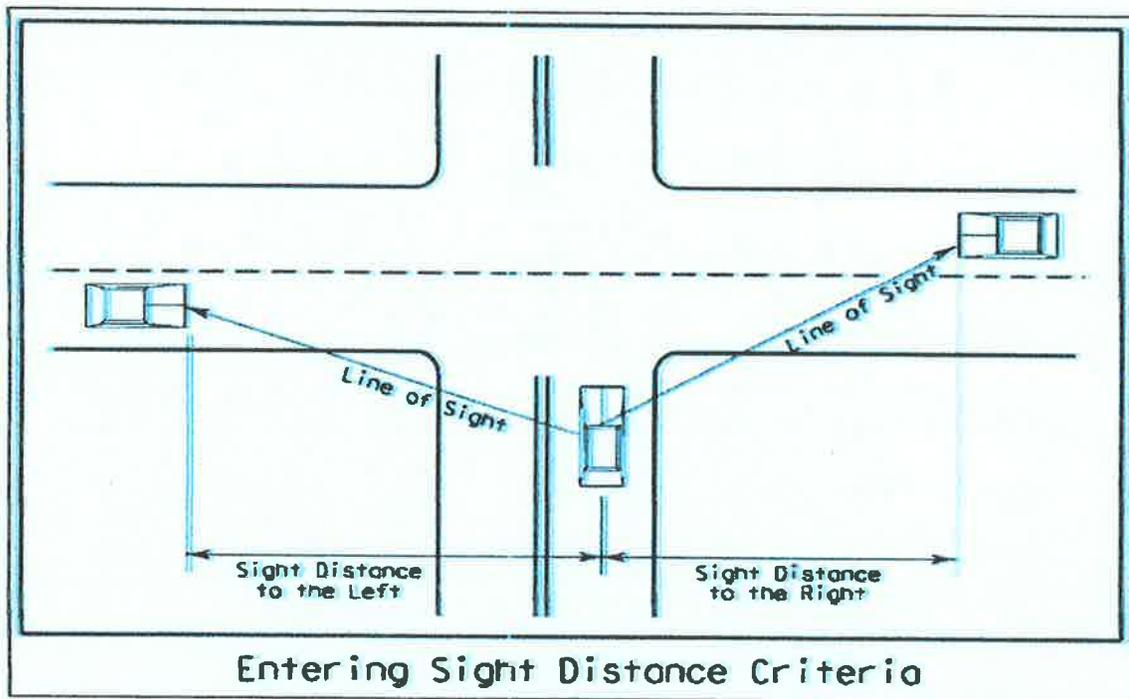
Reference: A sight distance study for the proposed Calderon New & User Tires store expansion

Sight Distance Criteria

The project site located within Santa Clara County requires the assessment of stopping sight distance. As defined by the Caltrans Highway Design Manual, sight distance is the continuous length of highway (roadway) ahead visible to the driver. Stopping sight distance is the minimum sight distances provided at interchanges and at-grade intersections.

For the purposes of this analysis, a 7.5 second criterion has been applied to the outside travel lanes in either direction to provide the most conservative sight distance. The 7.5 second criterion allows waiting vehicles to either cross all lanes of through traffic by turning left or cross the near lanes by turning right without requiring through traffic to radically alter their speed.

At unsignalized intersections, intersection sight distance must provide a clear line of sight between the driver of the vehicle waiting on the minor road (driveway) and a driver of an approaching vehicle along mainline (roadway) as shown in the illustration below.

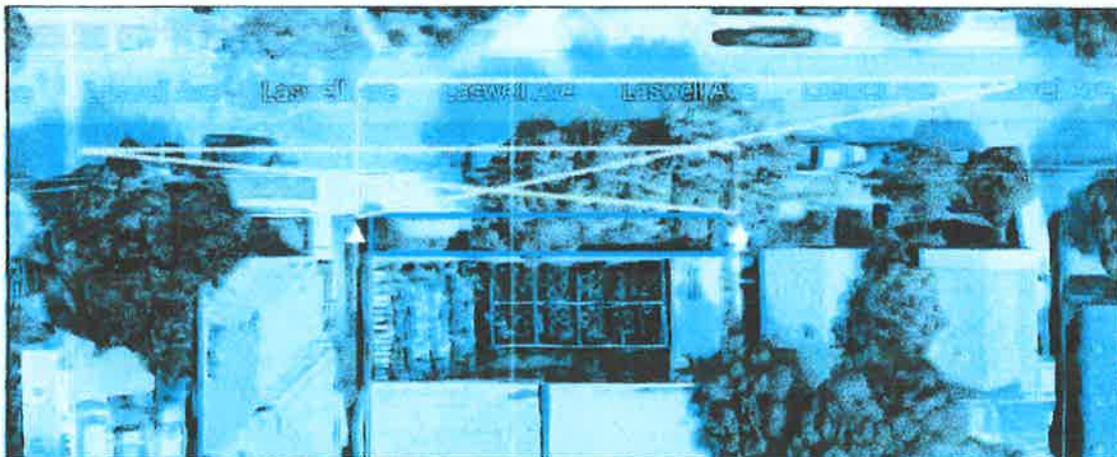


Reference: A sight distance study for the proposed Calderon New & User Tires store expansion

As per Caltrans Highway Design Manual's sight distance standards, Table 201.1, the Stopping Distance for a 25 MPH roadway is 150 feet. Thus, the sight distance triangles for the subject driveways was applied based on the Caltrans standards. The sight distance triangle for the driveways are illustrated in the aerial photo below with the afore-mentioned criterion.

Design Speed ⁽¹⁾ (mph)	Stopping ⁽²⁾ (ft)	Passing (ft)
10	50	---
15	100	---
20	125	800
25	150	950
30	200	1,100
35	250	1,300
40	300	1,500
45	360	1,650
50	430	1,800
55	500	1,950
60	580	2,100
65	660	2,300
70	750	2,500
75	830	2,600
80	930	2,700

(1) See Table 103 for selection of design speed.
(2) For sustained downgrades, refer to advisory standard in Index 201.2

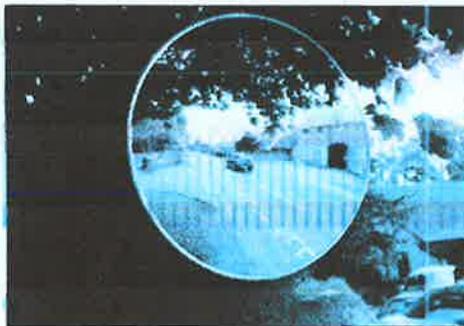


Reference: A sight distance study for the proposed Calderon New & User Tires store expansion

As per the Santa Clara County Zoning Ordinance, Section 4.20.050, a maximum fence height shall account for the 20-foot sight distance triangle if a fence abuts any adjacent driveway. Given the scope of this study, only the sight distance triangle was measured at the project site and driveways. But, the assessment for overall height of the fence itself is not within the study perspective.

In addition to the Sight Distance evaluation, Stantec proposes the following recommendations to enhance the overall vehicular and pedestrian safety at the study driveways along project site:

1. Adequate visibility for vehicular and pedestrian traffic should be provided at each of the project driveways by limiting line of sight obstructions within the limited use area. Any landscaping within the limited use area should be of the type that would grow no higher than two feet above the ground and shall be maintained accordingly.
2. Any on-street parking adjacent to the project site along Laswell Avenue should be considered for red-curb parking restriction to provide clear line of sight.
3. In addition to vehicle to vehicle sight distance evaluation, vehicle to pedestrian safety should be considered. Install a driveway convex mirror of a minimum 30-inches in diameter at each of the exit driveways to improve the visibility for both vehicle drivers and pedestrians.



With the sight distance assessment and the above mentioned recommendations, the County should consider the project site expansion with the implementation of adequate safety measures.

Thanks for providing us the opportunity to present the subject sight distance evaluation to improve the overall vehicle and pedestrian safety at the project site.

STANTEC CONSULTING SERVICES INC.