

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT
Zoning Administration
September 6, 2018
Item #4

Staff Contact: Joanna Wilk
(408) 299-5799, joanna.wilk@pln.sccgov.org

File: 8963-16DR

Design Review to rebuild an existing 4,317 square foot (2-story) single-family residence and add 1,748 square feet.

Summary: Design Review to rebuild an existing 4,317 square foot (2-story) single-family residence and add 1,748 square feet, totaling to 6,065 square feet (Tier 2 Project 5,001 to 12,500 sq. ft.). No grading is proposed.

Owner: Caroline & Tony Cuevas
Applicant: Caroline & Tony Cuevas
Lot Size: 14.9 Acres
APN: 830-17-016
Supervisory District: #1

Gen. Plan Designation: Hillside
Zoning: HS-d1
Address: 2475 Bridle Path Drive
Present Land Use: Single Family Residence
Approved Building Site: Yes

RECOMMENDED ACTIONS

- A.** Approve the Categorical Exemption, under Section 15303 (Class 3(a)) of the CEQA Guidelines, Attachment A
- B.** Grant Design Review Approval subject to conditions outlined in Attachment D

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination
Attachment B – Proposed Conditions of Approval
Attachment C – Location & Vicinity Map
Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes Design Review to rebuild an existing 4,317 square foot (2-story) single-family residence and add 1,748 square feet, totaling to 6,065 square feet. Additions include a single-car garage, master bedroom, and office. The rebuild and addition will be located in the same general location as the existing residence. No grading or tree removal is proposed as a part of this project.

The lot is a 14.9 gross-acre parcel on the northern side of Bridle Path Drive and western side of Howell Lane in the unincorporated area of Santa Clara County. Both Bridle Path Drive and Howell Lane are private roads. The existing paved driveway takes access from both Bridle Path Drive and Howell Lane. The property will be served by a local water purveyor. No additional site improvements are proposed outside of the rebuild and addition.

Setting/Location Information

The subject property is located in the southeastern portion of the unincorporated area of Santa Clara County, east of Highway 101 and north of Gilroy. The neighborhood character consists of estate homes built in the late 1980's to late 1990's ranging from 3,000 to 6,000 square feet. The property is located west of Coyote Lake Harvey Bear Ranch County Park.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption, Section 15303 (Class 3a) New Construction or Conversions of Small Features for one single-family residence, or a second dwelling unit in a residential zone.

B. Project/Proposal

1. **General Plan:** Hillside.
2. **Approved Building site:** Yes. Tract 6241 Lot 19.
3. **Zoning Ordinance:** The proposed project meets the required development standards for a single-family residence in the HS-d1 (Hillside with Design Review - Tier 2) combined zoning district as summarized below:

Front Setback:	30 feet
Side Setbacks:	30 feet
Rear Setback:	30 feet
Maximum Height:	35 feet
Stories:	3 stories

C. Design Review Findings:

Pursuant Section §5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of

development. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

A. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The project does not include removal of any existing vegetation, new landscaping, or grading. The rebuild of the existing residence includes adding a single-car garage, master bedroom, office to the first story and two closets to the second story. The proposed additions do not create additional adverse impacts to the existing single-family residence beyond what is already existing. The overall height of the structure will be reduced, as the new residence will have a lower ridgeline than the existing residence by two feet. As such, the overall scale of the residence, in terms of height, will be reduced.

The location of the residence is in a medium to highly visible location from the valley floor. Existing vegetation is located along Howell Lane and to the south of the existing residence (toward the valley floor), therefore providing additional mitigation to soften the appearance of the structure as seen from the valley floor.

B. Compatibility with the natural environment;

The project does not include additional site improvements other than the rebuild and addition to an existing single-family residence. Thus, the proposed project is designed to be compatible with the natural and existing environment.

C. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors;

The proposed project conforms to the Design Review Guidelines in the following ways: The siting of the proposed residence utilizes an existing foot print in a flat area of the parcel and requires no additional site improvements, or grading. The proposed residence is surrounded by trees to the north, south, and along Howell Lane, which are proposed to remain to help screen the proposed residence. Impacts on privacy and views of neighboring properties is minimal due to the existing vegetation. The existing residence is two stories. No increase in height is proposed. Additions to the second story include two closets.

The Architectural design avoids excessive bulk and mass by incorporating undulating facades and varied roof planes. As a condition of approval, exterior colors for the house façade, trim and roof materials are to have a Light Reflectivity Value less than or equal to 45.

D. Compatibility with the neighborhood and adjacent development;

The neighboring properties are either vacant or developed with single-family residences. The proposed residence is keeping with the characteristics of the surrounding neighborhood, in that the proposed size, number of stories, and architectural design are compatible to adjacent developments along Bridle Path Drive and Howell Lane. The project will not be obtrusive compared to the other developed parcels in the immediate vicinity due to the similarities in size, design, and screening provided by the existing vegetation.

E. Compliance with applicable zoning district regulations; and

Residential use is an allowed use in HS hillsides zoning district, and the project complies with the HS zoning regulations. The proposed residence is in compliance with required setbacks (30-feet from all property lines and rights-of-ways) and height (maximum of 35-feet). The proposed design is also in keeping with the -dl design standards, building massing standards, and exterior colors are conditioned to be less than 45 in LRV.

F. Conformance with the general plan, any applicable specific plan, other applicable guidelines.

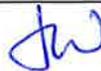
The proposed development substantially conforms with the Santa Clara County General Plan and Hillside Grading Guidelines. The proposed residence is a rebuild and addition to an existing structure, located in a suitable portion of the site where the topography is flat, minimizing grading. The two-story residence is well massed and does not require any grading, or new improvements, such as driveway or road improvements. The exterior color and materials will be conditioned to have an LRV of 45 or less to ensure compatibility with the surrounding environment.

BACKGROUND

The existing single-family residence was built in 1982. In 2006 a permit was issued to rebuild the home and add over 3,000 square feet. The rebuild was partially constructed and never completed. The current owner applied for Tier 2 Design Review in December 22, 2016 and changed the scope of work to rebuild the existing residence and add 1,748 square feet. No additional site improvements were proposed upon application submittal. The application was deemed incomplete in January of 2017, and due to miscommunication of application status, the owner did not resubmit the application until June 18, 2018. On August 16, 2018 the application was deemed complete. A public notice was mailed to all property owners within a 300-foot radius on August 21, 2018 and was also published in the Post Record Newspaper on August 23, 2018.

STAFF REPORT REVIEW

Prepared by: Joanna Wilk, Assistant Planner



Reviewed by: Leza Mikhail, Principal Planner/Zoning Administrator



ATTACHMENT A

Notice of Exemption from CEQA

To: County Clerk-Recorder
County of Santa Clara

Office of Planning & Research
PO Box 3044, Room 222
Sacramento, CA 95812-3044

Project Title Residence: 2475 Bridle Path Drive	File Number (if applicable) 8963-16DR	
Project Location 2475 Bridle Path Drive, north of Bridle Path Drive, west of Howell Lane, northeast of the City of Gilroy. Zoning HS-d1		
Public Agency Approving Project County of Santa	Person or Agency Carrying Out Project Joanna Wilk, Assistant Planner	
Project Description (including purpose and beneficiaries of project) Design Review to rebuild an existing 4,317 square foot (2-story) single-family residence and add 1,748 new square feet, totaling to 6,065 square feet (Tier 2 Project 5,001 to 12,500 sq. ft.). No grading is proposed.		
Exempt Status check one/indicate type of State CEQA Guidelines section number: <input checked="" type="checkbox"/> Categorical Exemption [CEQA Guidelines 15301-15333]: <input type="checkbox"/> Statutory Exemption [CEQA Guidelines 15260-15285]: <input type="checkbox"/> Declared Emergency [15269(a)]: <input type="checkbox"/> Emergency Project [15269(b)(c)]: <input type="checkbox"/> General Rule [CEQA Guidelines 15061(b)(3)]:		
Reasons the project is exempt: Class 15303 (a) One single-family residence, or a second dwelling unit in a residential zone. House is within Tier 2 size range (5,001 - 12,500 square feet) and not exceptionally large among recently constructed houses in the neighborhood. The property is located in an area of medium to high visibility and existing vegetation partially shields the home site from neighboring homes. Conditions of approval will require muted color to minimize contrast. No unusual circumstances exist so as to constitute significant effects, per subsection I 5000.2(c).		
County Contact Person	Title	Telephone Number
Joanna Wilk	Assistant Planner	(408) 299-5799

Date: 8/20/18 Signature: 

Name/Title: Joanna Wilk/Assistant Planner

Approved by:  _____

ATTACHMENT B

Preliminary Conditions of Approval

8963-16DR

DESIGN REVIEW CONDITIONS OF APPROVAL

Owner/Applicant: Caroline & Tony Cuevas
File Number: 8963-16DR
Location: 2475 Bridle Path Drive (APN: 830-17-016)
Project Description: Design Review to rebuild an existing 4,317 square foot (2-story) single-family residence and add 1,748 new square feet, totaling to 6,065 square feet (Tier 2 Project 5,001 to 12,500 sq. ft.). No grading is proposed.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a particular specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Joanna Wilk	(408) 299- 5799	joanna.wilk@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@pln.sccgov.org
Geology	Jim Baker	(408) 299 – 5735	jim.baker@pln.sccgov.org
Fire Marshal	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Building Inspection		(408) 299-5700	

STANDARD CONITIONS OF APPROVAL

Planning

1. Development must take place in accordance with the approved plans, prepared by Maria Barmina, submitted to the County on June 18, 2018.

NOTE: No additional structures, outside of the residential rebuild and addition are approved as a part of this permit. This approval is only for the items described in these conditions and identified on the stamped APPROVED plans and is not an approval of any existing illegal or legal non-conforming structures on the property, unless the approval of such illegal or legal non-conforming structure is specifically identified within these conditions or on the stamped APPROVED plans. Any additional development shall require separate permitting with the County Planning & Development Department.

2. Existing zoning is HS-dl. Maintain the following minimum setbacks:

Front:	30 feet
Sides:	30 feet
Rear:	30 feet
Maximum Height:	35 feet
Stories:	3

4. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately halt and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code

5. Elective landscaping over 500 square feet requires a landscape package submittal and permit, prior to building permit issuance. Proposed landscaping over 2,500 square feet requires a landscaping plan and irrigation plan stamped and signed by a licensed landscape architect prior to building permit issuance. The County Landscape Ordinance and supporting information can be found on the following webpage:

<https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

Environmental Health

6. Sewage disposal conditions have been determined at 800 plus 800 lineal feet of subsurface drainline. The two drainline systems must be connected through a positive diversion valve. A 2,000-gallon septic tank and 1,500-gallon pump tank shall be required. This septic system is adequate to serve a four-bedroom house.

Due to the expiration of original septic permit #62690, a new septic permit was issued by the Department of Environmental Health as permit #64333 (issued on date, 8/1/17).

7. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Fire Marshal

8. Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.

9. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates

shall be maintained in good working order, and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE

Planning

10. Maintain the existing landscaping in a thriving manner to soften the appearance of the structure as seen from the valley floor or provide future landscaping to the satisfaction of the County should it be removed.

11. For all trees to be retained with a canopy in the development area or interfaces with the limits of any proposed development on-site, the trees shall be protected by the placement of 5-foot tall rigid tree protective fencing as shown on final building plans and must include the following:
 - a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees,
 - b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions,
 - c. Fencing should be repaired, as necessary, to provide a physical barrier from construction activities,
 - d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call (408) 299-5770 for additional details."

12. Pursuant to §5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided prior to building permit issuance.

Environmental Health

13. At the time of application for a building permit, submit four (4) original wet stamped plot plans to scale (1" = 20') on a grading and drainage plan showing the house, driveway, accessory structures, septic tank and required drainlines to contour. Maintain all setbacks as outlined within County of Santa Clara Onsite Systems Manual.

Be advised that any modification to the stamped approved septic system design which requires a subsequent review and approval by the Department of Environmental Health will require the applicant to return all previously approved septic design plans to the district specialist prior to obtaining current design approval.

14. Call Nicole Jorgensen at 408-918-3492 for water system clearance. Additional fees may be required. A well log showing a 50-foot sanitary seal, pump test & water testing are required.

Geology

15. Prior to permit issuance, submit a Plan Review Letter that confirms the plans conform with the intent of the recommendations presented in the approved report.

Fire Marshal

16. The minimum fire-flow shall be 1,000 gpm at 20 psi for 30-minute duration. At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.

NOTE: Property is located within the South Santa Clara County District Fire response area.

Building Inspection Office

17. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Office of Building Inspection or visit their website (www.sccbbuilding.org).

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST

Planning

18. With the exception of trim and minor details, the exterior surfaces of the structure must be of muted colors with light reflectivity value (LRV) of 45 or lower.
19. Prior to final inspection, contact Joanna Wilk, at least a week in advance to schedule a site visit to verify the approved exterior colors have been installed as approved and existing landscaping is maintained.

Geology

20. Prior to final inspection, submit a Construction Observations Letter that verified the work was completed in accordance with the approved plans.

Fire Marshal

21. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure (including existing residences when square footage is added).

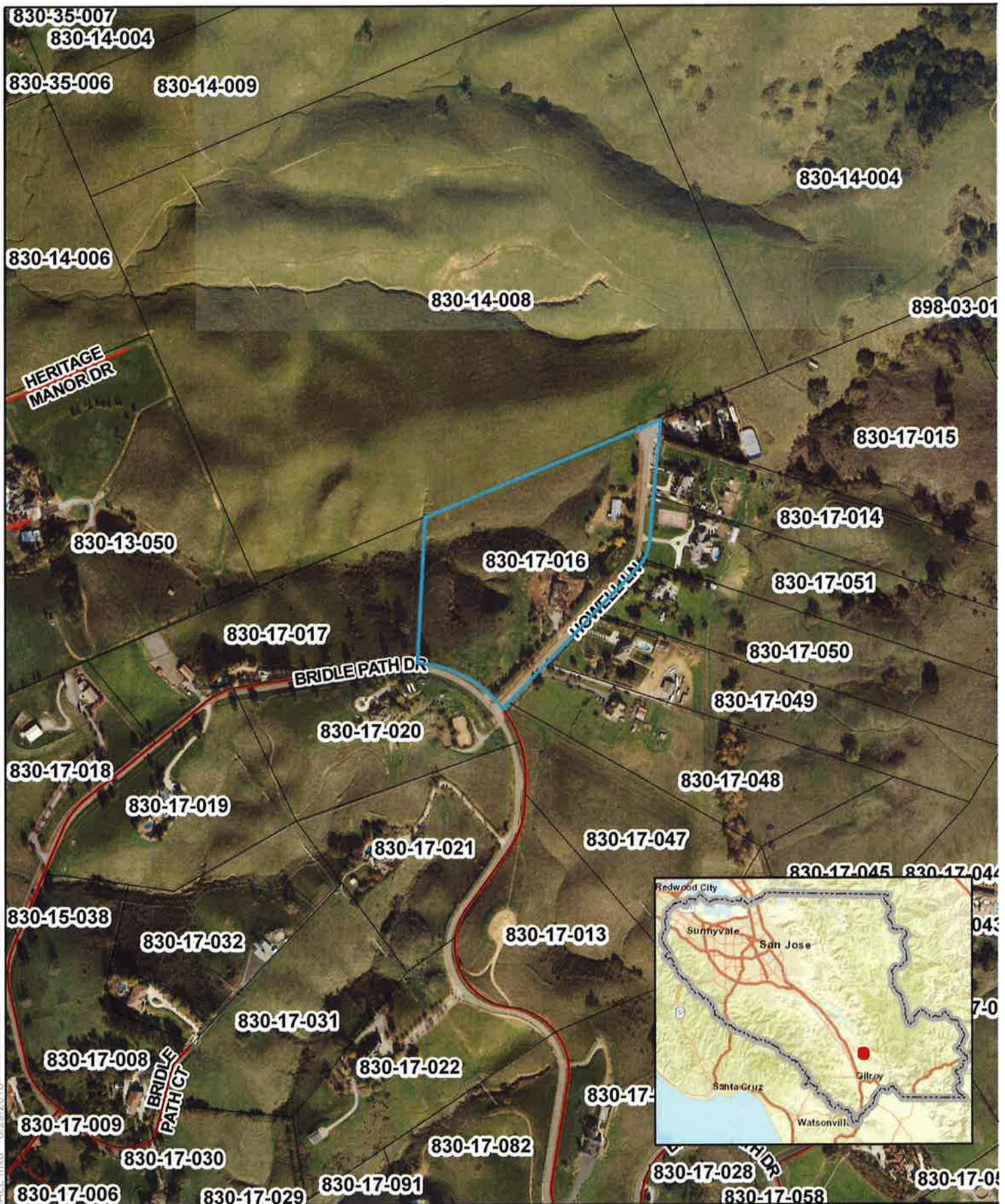
NOTE: The fire sprinkler system shall be installed and finalized by this office prior to occupancy. A separate permit shall be obtained from this office by a state licensed C-

16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

22. Fire protection water system shall be functioning and prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning

ATTACHMENT C

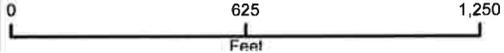
Location & Vicinity Map



County of Santa Clara
 Department of Planning and Development
 Planning Office
 County Government Center, East Wing
 70 West Hedding Street, 7th Floor
 San Jose California 95110-1705

LOCATION & VICINITY MAP

2475 Bridle Path Drive



X:\Admin\Projects\GIS\4411.mxd 2/29/2018

ATTACHMENT D

Proposed Plans

SATELLITE VIEW:



PROJECT DATA:

ZONE: HS
 OCCUPANCY GROUP: R3-U
 CONSTRUCTION TYPE: V-B
 APN#: 830-17-016
 YEAR BUILT: 1978 (ORIGINALLY)
 LOT SIZE: 14.85 ACRES

BUILDING SETBACKS:
 FRONT 30'
 SIDE 30'
 REAR 30'

FIRE SPRINKLERS NEW SYSTEM TO BE INSTALLED

ALL EXTERIOR WINDOWS AND DOORS TO BE TEMPERED GLASS

FLOOR AREA CALCULATION:

MAX ALLOWABLE - NOT APPLICABLE

	EXISTING (SF)	DELTA (SF)	PROPOSED (SF)
1ST FLOOR			3,435.09
2ND FLOOR		ALL NEW CONSTRUCTION	1,416.03
GARAGE			1,053.71
COVERED PORCH			215.70
TOTAL LIVING SPACE:			4,851.12 SF

LOT COVERAGE:

MAX ALLOWABLE - NOT APPLICABLE

MAX HEIGHT:

35 FT (2 STORY ALLOWED)

PARKING REQUIREMENTS:

1 COVERED, ONE UNCOVERED PARKING STALL REQUIRED

HISTORICAL RESIDENCE: NO

FLOOD ZONE: NO

PROTECTED TREES: N/A

NEW SINGLE FAMILY 2 STORY RESIDENCE

APN#: 830-17-016

PROJECT ADDRESS

2475 Bridle Path Drive, Gilroy, CA 95020

OWNERS: TONY & CAROLINE CUEVAS

PROJECT DESCRIPTION: BUILD NEW 2 STORY SINGLE FAMILY RESIDENCE. 4 BEDROOMS, 4 FULL BATHS, 2 1/2 BATHS, 4 CAR GARAGE.

BUILDING SITE APPROVAL #

PLANNING/BUILDING DEPARTMENT:

Santa Clara County Planning/Building
 Department
 70 West Hedding Street
 East Wing, 7th Floor San Jose, CA 95110
 T: 408.299.5770

CONSULTANTS:

Sezen & Moon
 Structural Engineering, Inc.
 274 E. Hamilton Avenue, Suite C
 Campbell, CA 95008
 Brian Moon, PE., Principal Engineer
 C: 408-761-9049
 T: 408-871-7273
 F: 408-871-7274
 www.SMSEinc.com
 SMSEinc@aol.com

MEP - ROY ASSOCIATES
 39510 Paseo Padre Parkway
 Fremont, CA 94538
 T: 510.794.8091

TITLE 24 - ENERGY CALCULATIONS
 IGOR PICHKO, COMPANY - "PLAR"
 1252 W 22ST #2
 SAN PEDRO CA

GENERAL NOTES:

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CA AND SANTA CLARA COUNTY.

CFC 2013 EDITION CFC 2013 EDITION CFC 2013 EDITION
 CMC 2013 EDITION CFC 2013 EDITION CFC 2013 EDITION
 CAL GREEN 2013 CA ENERGY CODE 2013

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FACE OF STUD, UNLESS OTHERWISE NOTED. "CL" MEANS CLEAR DIMENSION FROM FACE OF FINISH. NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL, BETWEEN 8am AND 6:00pm, MON-FRI, AND BETWEEN 9am AND 5:00 pm, THE MOST RESTRICTIVE WORK HOURS SHALL GOVERN. WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN WRITING AND THE LOCAL BUILDING OFFICIAL IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL. STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. SUPPORT PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION.

MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS REQUIRED BY THE SCOPE OF WORK AND AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED, INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVIDED SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.

DRAWING INDEX:

A-01	(N) SITE PLAN
A-02	(N) 1ST FLOOR
A-03	(N) 2ND FLOOR
A-04	(N) ELEVATIONS
A-05	ROOF PLAN
A-06	BUILDING SECTIONS
A-07	WINDOW SCHEDULE
A-08	DOOR SCHEDULE
A-09	DETAILS
A-10	GREEN BUILDING
A-11	BMF
T-00	TITLE SHEET

STRUC. SHEETS:

- S 1.0 GENERAL NOTES
- S 1.1 SWS LAYOUT & DETAILS
- S 1.2 HOLDOWN DETAILS
- S 1.3 TYPICAL DETAILS
- S 2.0 FOUNDATION & 1ST FLR FRAMING PLAN
- S 2.1 1ST FLOOR SHEARWALL PLAN
- S 2.2 FOUNDATION AND 1ST FLOOR FRAMING DETAILS
- S 3.0 LOW ROOF AND 2ND FLOOR FRAMING PLAN
- S 3.1 2ND FLOOR SHEARWALL PLAN
- S 3.2 LOW ROOF AND 2ND FLOOR FRAMING DETAILS
- S 4.0 UPPER ROOF FRAMING PLAN

MEP SHEETS:

- E 1.0 GENERAL NOTES AND ABBREVIATIONS
- E 2.1 ELEC. & LIGHTING PLAN 1ST & 2ND FLOOR
- E 3.1 ELEC. POWER PLAN 1ST & 2ND FLOOR

TITLE 24:

- T24-1 CF-1R Model
- T24-2 MANDATORY MEASURES

PARCEL MAP:



MARIA BARMINA
 DESIGNER
 5753 GREENRIDGE RD.
 CASTRO VALLEY
 CA 94552

mbarmina@yahoo.com

T: 650.704.4501

**CUEVAS
RESIDENCE**
 2475 Bridle Path Drive
 Gilroy, CA, 95020

(E) EAST
 ELEVATION,
 BRIDLE

CLIENT NAME:
 TONY & CAROLINE
 CUEVAS

REVISIONS:
 DATE REV # DESCRIP

DRAWN BY:
 MVB

SCALE AS NOTED

DATE PRINTED:
 Friday, June 8, 2018

SHEET NUMBER:

T-00



NO GRADING WILL BE DONE UNDER THIS PERMIT

(N) SITE PLAN

1/8" = 1'-0"

GENERAL NOTES

- 1) SCOPE
- A. GENERAL DESCRIPTION REMOVE AND WALK AWAY ONLY THOSE ITEMS NECESSARY TO ACCOMPLISH THE SCOPE OF WORK.
- B. PROVIDE SUFFICIENT LABOR EQUIPMENT TOOLS MATERIALS AND SPECIFICATIONS AND GENERAL TERMS AND CONDITIONS.
- C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE WORK DONE ON THIS PROJECT SHALL BE IN STRICT COMPLIANCE WITH THE APPLICABLE CODE REQUIREMENTS.
- D. TREE PROTECTION PERIMS SHOWN FOR REFERENCE ONLY REFER TO TREE PROTECTION PLAN FOR ALL TREE PROTECTION REQUIREMENTS.
- E. CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED TREE PROTECTION PLAN SUBMITTED TO THE CITY ENGINEERING DIVISION. THE PERFORMANCE OF THIS WORK SHALL BE MONITORED BY THE CITY ENGINEER. PERMITS SHALL BE OBTAINED FROM THE REGULATION DIV.
- F. PROTECTION AND CONTROLS
- G. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE ADJACENT PROPERTY AND AREAS. PROTECT ANY ADJACENT AREAS AND IMPROVEMENTS FROM DAMAGE. ANY DAMAGE TO ADJACENT PROPERTY SHALL BE REPAIRED TO ORIGINAL CONDITION WITH NO COST TO THE OWNER.
- H. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO DEPTH OF CONSTRUCTION DEBERS ENTERS THE STORM DRAIN SYSTEM.
- I. NO ON-SITE STORM DRAIN INLETS EXIST ON THE SITE.
- J. ANY EXISTING STORM DRAIN INLETS USED SHALL BE PROTECTED FROM DEBRIS WITH SAND BAGS SURROUNDING THE STORM DRAIN INLET SPATE FOR THE DURATION OF THE PROJECT.
- K. AT THE END OF EACH WORKDAY AND JUST PRIOR TO RAINFALL, ROWWAYS AND SIDEWALKS MUST BE SWEEPED AND CLEANED OF ALL DEBRIS. DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE AND DISPOSED DOWN THE PAVEMENT IN PLACE OF SWEEPING.

BARMINA DESIGN STUDIO

T: 850.704.4501 mbarmina@yahoo.com

MARIA BARMINA
DESIGNER
REGISTERED ARCHITECT
CALIFORNIA



CUEVAS RESIDENCE

2475 Bride Path Drive
Gillroy, CA, 95020

(N) SITE PLAN

CLIENT NAME:
TONY & CAROLINE
CUEVAS

REVISIONS:
DATE REV # DESCRIP

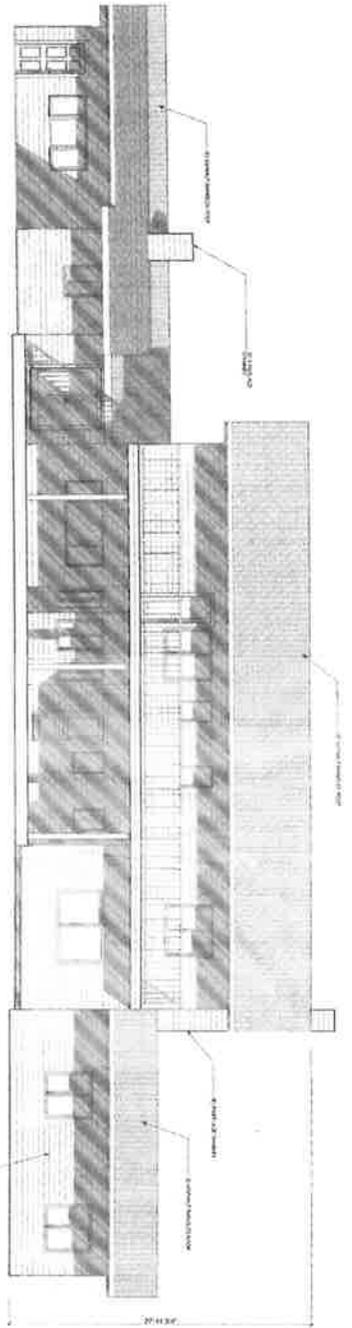
DRAWN BY:
MNB

SCALE AS NOTED

DATE PRINTED:
Friday, June 16, 2017

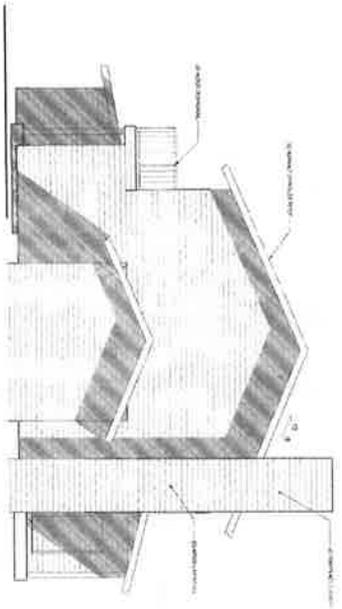
SHEET NUMBER:

A-01



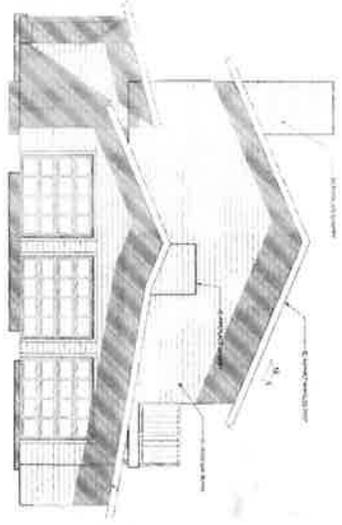
(S) SOUTH ELEVATION

3/16" = 1'-0"



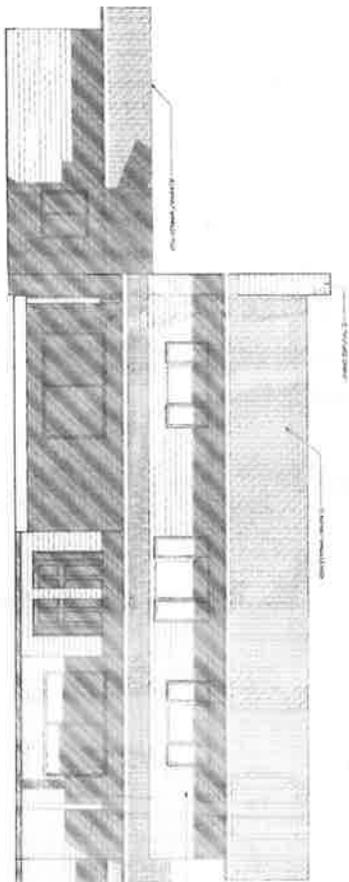
(E) EAST ELEVATION

3/16" = 1'-0"



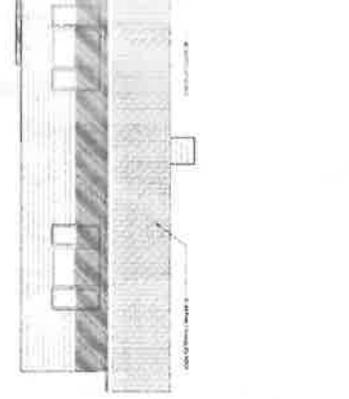
(W) WEST ELEVATION

3/16" = 1'-0"



(N) NORTH ELEVATION

3/16" = 1'-0"



FRONT

3/16" = 1'-0"



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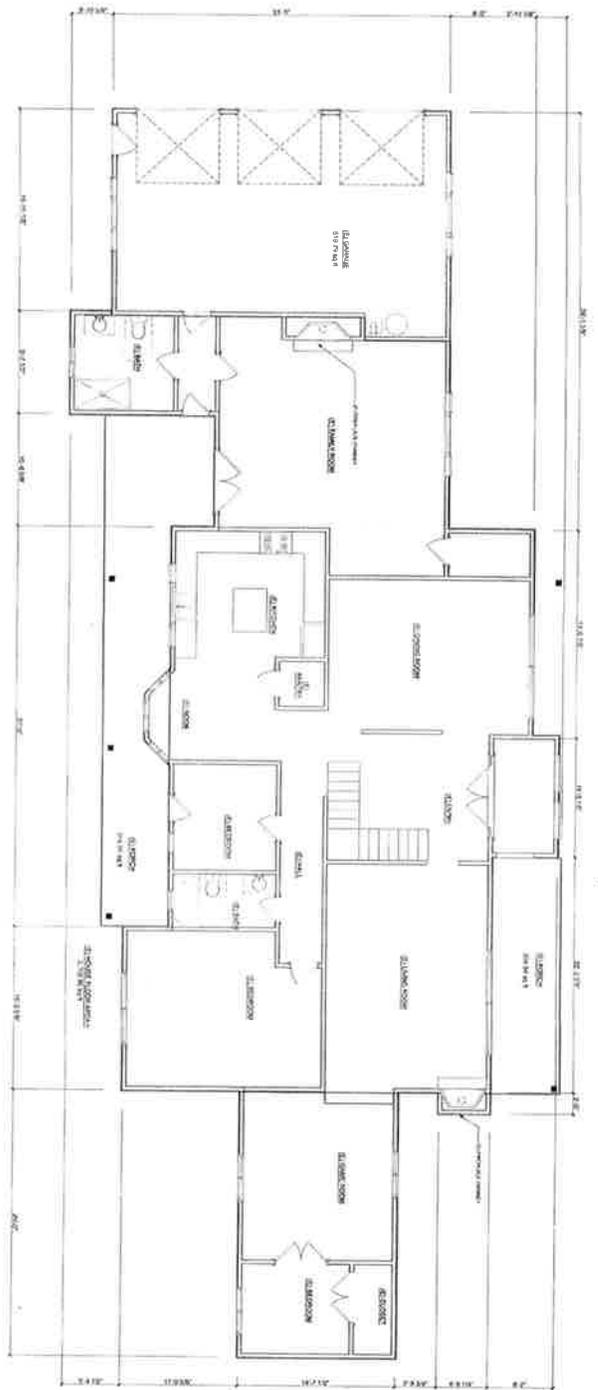
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Gilroy, CA, 95020

MARIA BARMINA
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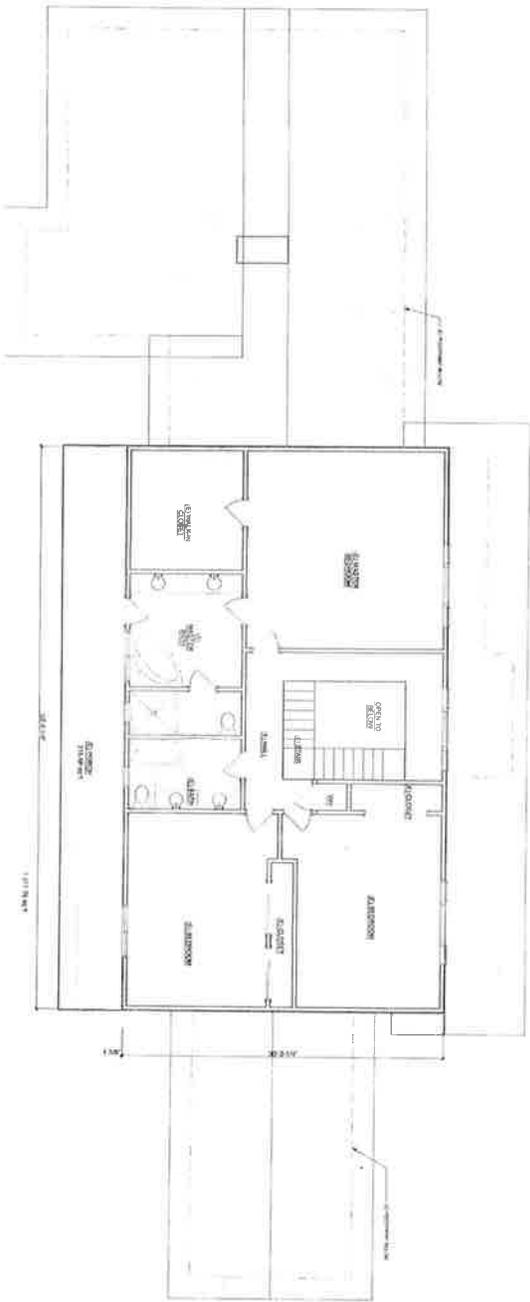
CLIENT NAME:
TONY & CAROLINE
CUEVAS
REVISIONS:
DATE: N/A DEC 2011

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MVB
SCALE AS NOTED
DATE PRINTED:
Friday, December 11, 2015
SHEET NUMBER:
A-02



(E) 1ST FLOOR PLAN

3/16" = 1'-0"



(E) 2ND FLOOR PLAN

3/16" = 1'-0"

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(E) 1ST FLOOR
 PLAN (E) 2ND
 FLOOR PLAN

CLIENT NAME:
 TONY & CAROLINE
 CUEVAS
 REVISIONS:
 DATE REV# DESCR#

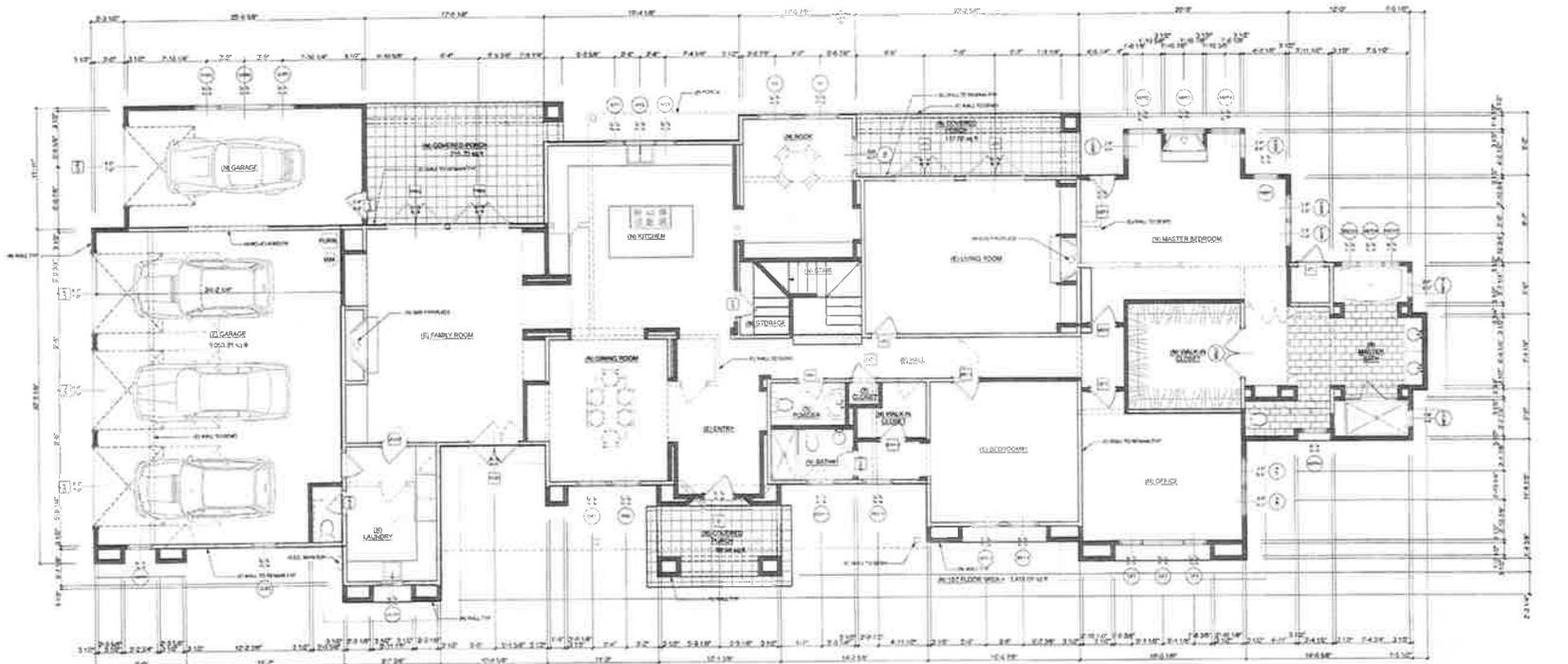
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A-01



(N) 1ST FLOOR PLAN

3/16" = 1'-0"

FLOOR PLAN NOTES:

- LOCATION OF ADDRESS NUMBERS SHALL BE PLACED WHERE THEY CAN BE CLEARLY VISIBLE FROM THE ADJACENT STREET OR ROAD.
- LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 36"
- THE LANDING AT AN EXTERIOR DOORWAY IS ALLOWED TO BE NOT MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED.
- GYPSUM BOARD SHALL BE 1/2" THICK THROUGHOUT, EXCEPT 5/8" THICK TYPE X DRYWALL WILL BE USED AT STORAGE AREAS UNDER STAIRS AND AT GARAGE CEILING AND WALLS COMMON TO DWELLING AND WALLS SUPPORTING 1 HOUR CEILING.
- FOUNDATION VENTILATION UNDER FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA AND OPENINGS TO BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. THEY SHALL BE COVERED WITH CORROSION-RESISTANT 1/4" INCH WIRE MESH VENTS.

- (N) HOUSE GROUND FLOOR AREA = 3,435.09 SQ. FT./150 = 23 SQ. FT. EACH VENT 6"X14" = 0.5833 SQ. FT.
- 40 FOUNDATION VENTS TO BE PROVIDED ALONG PERIMETER OF HOUSE
- ATTICS AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION OF EACH SEPARATE SPACE A MINIMUM OF 1" OF AIR SPACE IS REQUIRED BETWEEN THE INSULATION AND ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED, WITH HALF OF THE VENTING LOCATED IN THE UPPER PORTION OF THE SPACE AND THE BALANCE PROVIDED BY SOFFIT VENTS.
- (N) HOUSE 1st floor AREA = (3,435.09 sq ft + 1053.71 SQ.FT)/150 = 30 SQ. FT.
- (N) HOUSE 2nd floor AREA = 1,548.17 SQ.FT/150 = 10 SQ. FT.
- LINEAR VENTS TO BE PROVIDED ALONG ALL ROOF EAVES
- THE MINIMUM NET FREE VENTILATING AREA MAY BE REDUCED TO 1/500 OF THE AREA WHEN AN APPROVED VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH APPROVED MATERIAL WITH OPENINGS A MINIMUM OF 1/8" AND NOT EXCEEDING 1/4".
- ATTIC BATT'S INSULATION SHALL BE BAFFLED OR BEND DOWNWARD AT EAVES TO MAINTAIN 1" MINIMUM GAP FOR AIR FLOW. UBC 1505.3
- SHOWER DOOR SIZE TO HAVE A NET OPENING OF 22" MINIMUM AND MUST BE SAFETY TEMPERED GLASS

- SHOWER COMPARTMENT REGARDLESS OF SHAPE, SHALL HAVE A MIN. FINISHED INTERIOR OF 1/20 SQ. INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 24" INCH CIRCLE. NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD AND SAFETY GRAB BARS OR RAILS ARE ALLOWED.
- BUILT-UP SHOWER/TUB HORIZONTAL SURFACES SHALL BE PROTECTED BY APPLYING 2 LAYERS OPTIS LB. ASPHALT FELT WITH 20 LB. SQ. FT. ASPHALT BETWEEN LAYERS AND A FLOOD COAT OF 20 LB. SQ. FT. MEMBRANE MUST EXTEND A MIN OF 8 INCHES UP WALL OR 3 INCHES HIGHER THAN CURB.
- PROVIDE BUILDING PAPER # FT. HIGH MINIMUM ON FACE OF STUDS OF SHOWER (TUB SHOWER) ENCLOSURE AND FINISH WALLS WITH CERAMIC TILE OVER MORTAR TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE DRAIN.
- PROVIDE SAFETY GLASS AT WINDOWS IN SHOWER/BATH TUB ENCLOSURES WITHIN 60" ABOVE THE DRAIN RILET.
- MOISTURE RESISTANT GYP BOARD SHALL BE APPLIED AT TUB AND/OR SHOWER WALLS. NOT REQUIRED AT MORTAR OR CEMENT BOARD BASES.
- PROVIDE BACKING FOR ALL ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHOWER ENCLOSURES, TP HOLDER, TOWEL BARS, MEDICINE CABINET, ETC. - CONDUCT WALK-THRU WITH HOMEOWNER PRIOR TO HANGING GYPSUM BOARD TO IDENTIFY LOCATIONS THAT REQUIRE BACKING.

- 1 PROVIDE A MIN. 1/2" GYP BOARD APPLIED TO THE GARAGE WALLS & ITS ATTIC AREA SHARED WITH MAIN RESIDENCE.
 - 2 DOOR BETWEEN PRIVATE RESIDENCE AND GARAGE SHALL BE 20 MIN. FIRE RATED DOOR. IT CAN BE EITHER SOLID WOOD DOOR OR SOLID HONEYCOMB CORE STEEL DOOR. NOT LESS THAN 1 3/8" INCH THICK SELF-CLOSING AND SELF-LATCHING.
 - 3 DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. 0.018 INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO GARAGE.
 - 4 FOR ALL PLUMBING FIXTURE WATER SUPPLY WATER CONSERVING REQUIRED LEVELS REFER TO SHEET A-04 CAL GREEN REQUIREMENTS.
 - 5 REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES SUCH AS:
 - A) WATER CLOSETS TO BE MAXIMUM 1.29 GALLONS PER FLUSH.
 - B) SINGLE SHOWER HEAD HAS A MAXIMUM FLOW OF NO MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI.
 - C) LAVATORY FAUCETS HAVE A MAXIMUM FLOW RATE OF NOT EXCEEDING 1.8 GALLONS PER MINUTE AT 80 PSI.
 - D) KITCHEN FAUCET HAS A MAXIMUM FLOW RATE NOT EXCEEDING 1.8 GALLONS PER MINUTE AT 80 PSI.
- THE WATER HEATER IS EXISTING (RECENTLY REPLACED) - TANKLESS

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(N) 1ST FLOOR PLAN

CLIENT NAME:
TONY & CAROLINE
CUEVAS

REVISIONS:
DATE REV # DESCRIP

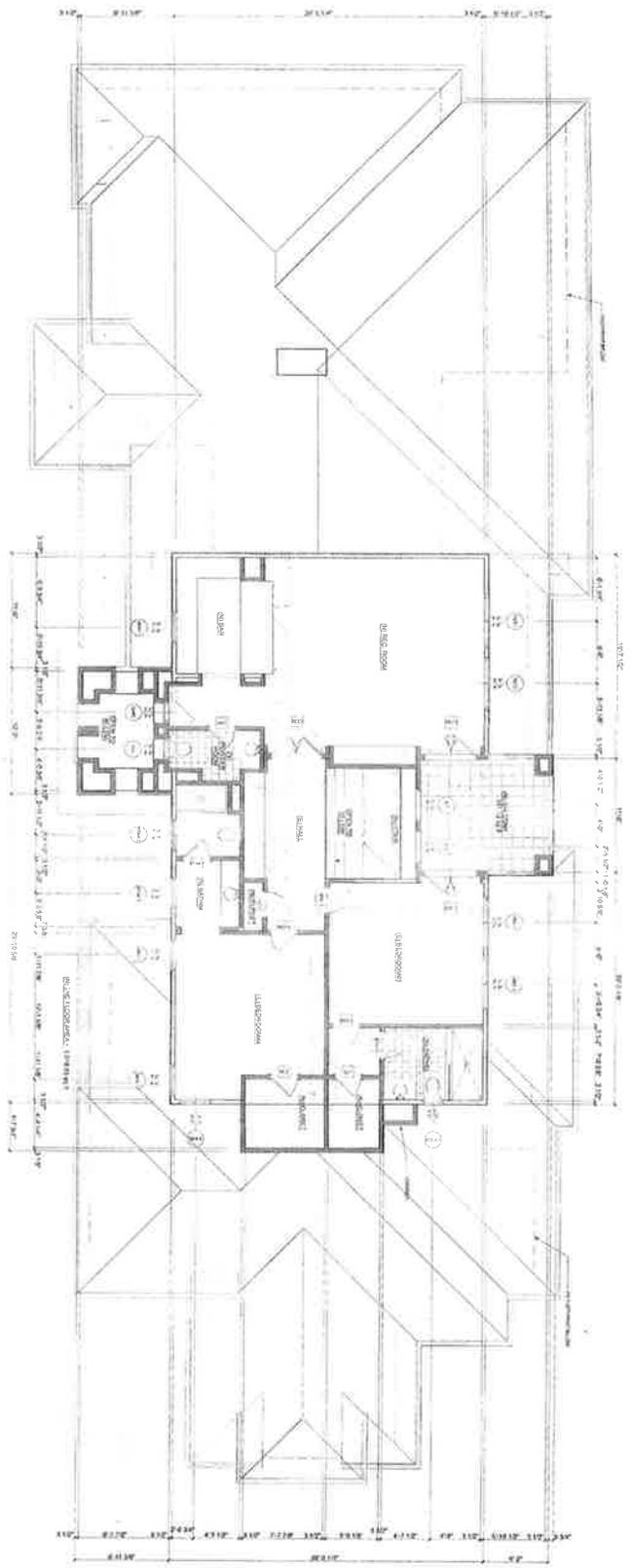
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Friday, December 11, 2015

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A-03



(N) 2ND FLOOR PLAN

3/16" = 1'-0"

FLOOR PLAN NOTES:
FOR ALL NOTES REFER TO SHEET A-04

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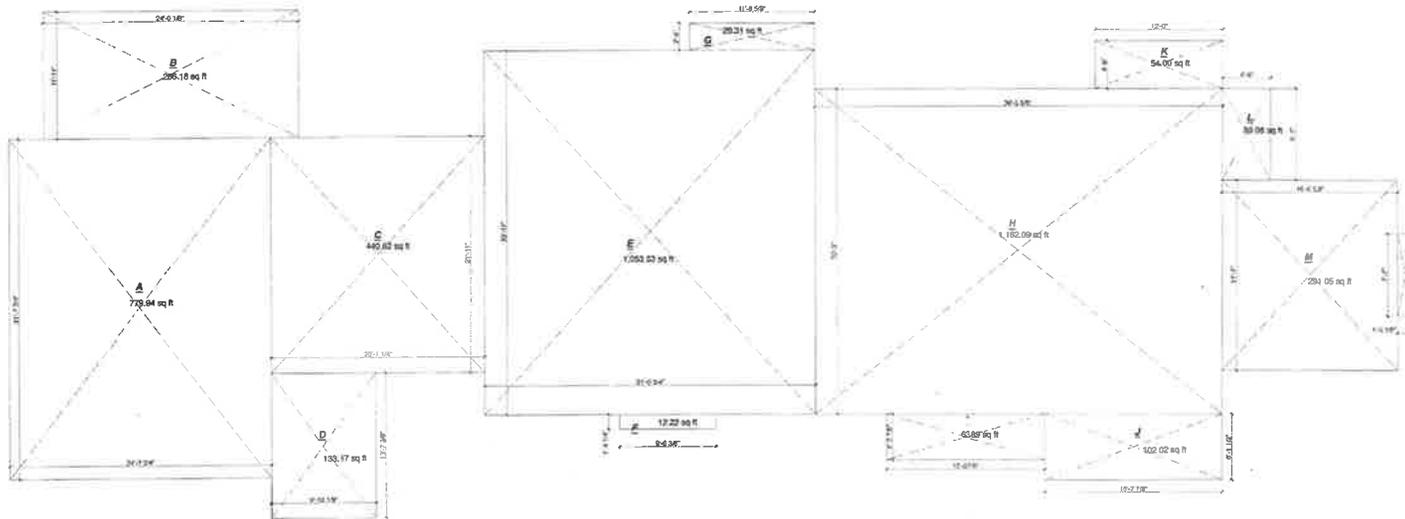
(N) 2ND FLOOR PLAN

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A-04



FLOOR AREA 1ST FLOOR:

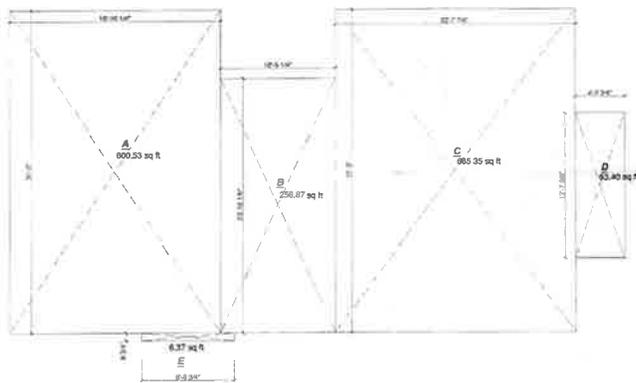
- A = 31'-7 3/4" x 24'-7 3/4" = 778.84 SF
- B = 11'-11" x 24'-0 1/8" = 288.18 SF
- C = 21'-11" x 20'-1 1/4" = 440.82 SF
- D = 19'-10 1/8" x 13'-7 3/8" = 132.17 SF
- E = 31'-0 3/4" x 33'-11" = 1,053.53 SF
- F = 8'-0 3/8" x 1'-4 1/4" = 12.22 SF
- G = 11'-8 5/8" x 2'-8" = 29.31 SF
- H = 30'-0" x 38'-5 5/8" = 1,162.89 SF
- I = 15'-0 7/8" x 4'-2 7/8" = 63.89 SF
- J = 18'-7 7/8" x 6'-1 1/2" = 102.02 SF
- K = 4'-8" x 12'-0" = 56 SF
- L = 4'-5" x 6'-7" = 30.09 SF
- M = 18'-8 5/8" x 17'-7" = 291.05 SF
- N = 7'-7" x 1'-5 1/2" = 11.08 SF

TOTAL = 3,292.14 SF (habitable) +
1,066.12 sf (garage) = 4,458.26 sf

4,458.26 sq ft

1ST FLR FAR

3/16" = 1'-0"



FLOOR AREA 2ND FLOOR:

- A = 19'-10 1/4" x 30'-3" = 600.53 SF
- B = 10'-8 1/4" x 23'-10 1/8" = 256.87 SF
- C = 22'-7 1/8" x 30'-3" = 685.35 SF
- D = 15'-7 3/4" x 4'-7 3/4" = 63.40 SF
- E = 8 3/4" x 8'-8 3/4" = 6.37 SF

TOTAL = 1,612.55 SF (habitable)
1,612.55 sq ft

2ND FLR FAR

MASTER FILE
FILE # 3963-78

3/16" = 1'-0"

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1ST FLR FAR,
2ND FLR FAR

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DATE PRINTED:
Thursday, July 19, 2018
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3/16" = 1'-0"
FAR